

**LOCATION / KEY MAP**

SCALE: 1" = 2000'±

SOURCE: USGS PEMBERTON AND MOUNT HOLLY QUADRANGLES, NEW JERSEY 7.5 MINUTE SERIES, DATED 2019

**PRELIMINARY & FINAL MAJOR SITE PLAN**

FOR

**DOLLAR GENERAL®**

**PROPOSED RETAIL BUILDING**

BLOCK 2203 LOT 14  
1823 U.S. ROUTE 206

TOWNSHIP OF SOUTHAMPTON, BURLINGTON COUNTY, NEW JERSEY



Know what's below  
Call before you dig.

**APPLICANT**

SOUTHAMPTON DG, LLC  
361 SUMMIT BOULEVARD, SUITE 110  
BIRMINGHAM, ALABAMA 35243  
(205) 281-5053

**OWNER**

HAAS, CATHERINE  
1812 ROUTE 206 P.O. BOX 2329  
SOUTHAMPTON, NJ 08088

**ATTORNEY**

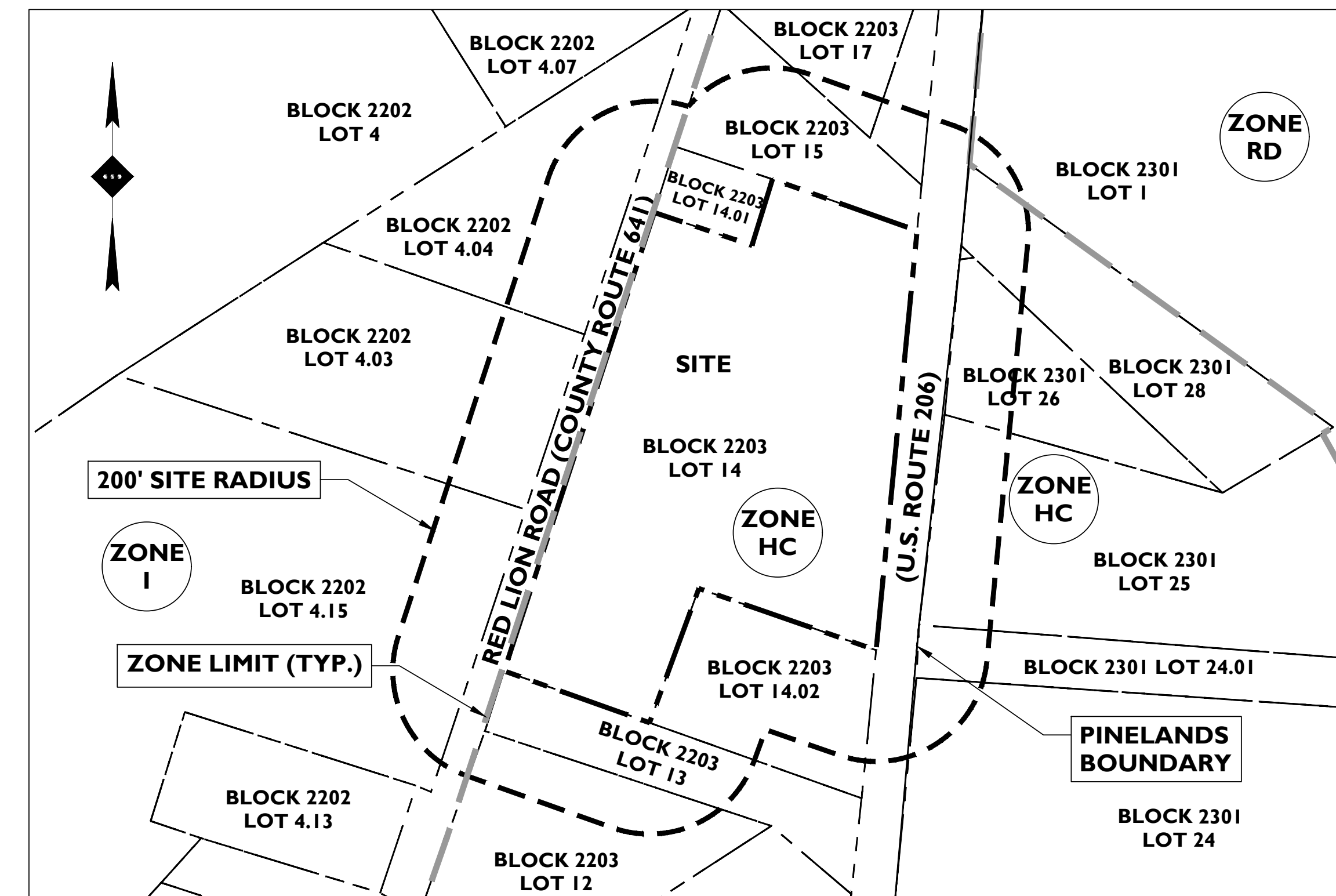
PRIME LAW  
1400 HORIZON WAY, SUITE 325  
MOUNT LAUREL, NEW JERSEY 08054  
FAX: (856) 273-8300  
PHONE: (856) 273-8383



**AERIAL MAP**

SCALE: 1" = 200'±

SOURCE: GOOGLE EARTH PRO RETRIEVED 06/12/2020



**TAX / ZONING**

SCALE: 1" = 200'±

SOURCE: TOWNSHIP OF SOUTHAMPTON TAX MAP SHEETS 22 & 23; TOWNSHIP OF SOUTHAMPTON ZONING MAP

**TOWNSHIP OF SOUTHAMPTON 200' PROPERTY OWNERS LIST**

BLOCK	LOT	OWNER	OWNER'S ADDRESS
2202	4.03	WILLIAMS, SYLVIA M	172 WILLOW GROVE RD, VINCENTOWN, NJ 08088
2202	4.04	143 RED LION, LLC	PO BOX 2337, VINCENTOWN, NJ 08088
2203	4.15	LION SELF STORAGE, LLC	124 EAYRESTOWN RD, SOUTHAMPTON, NJ 08088
2203	12	HAHN, JOHN HAROLD JR	STE 130 #198 3501 RT 42, TURNERSVILLE, NJ 08012
2203	13	ZIMMERMAN, JAMES G & TATUM, BRUCE	107 CHAIRVILLE RD, MEDFORD, NJ 08055
2203	14.01	HAAS, CATHERINE SUSAN	1 SOUTH PARK DR, TABERNACLE, NJ 08088
2203	14.02	UNITED STATES POSTAL SERVICE	1845 WALNUT ST, PHILADELPHIA, PA 19100
2203	15	GIBERSON, JAMES B JR & LISA-ANN M	2410 FOSTERTOWN RD, HAINESPORT, NJ 08036
2203	17	POINSETT, JAMES G	150 RED LION RD, SOUTHAMPTON, NJ 08088
2301	23	SHAW, RICHARD J	1806 ROUTE 206, SOUTHAMPTON, NJ 08088
2301	24	HAAS, CATHERINE M	PO BOX 2329, SOUTHAMPTON, NJ 08088
2301	25	EVERGREENS DAIRY BAR INC	322 WILLOW ST, BORDENTOWN, NJ 08050
2301	26	INSINGA, CHRISTOPHER	1826A ROUTE 206, SOUTHAMPTON, NJ 08088
2301	27	INSINGA, CHRISTOPHER	1826A ROUTE 206, SOUTHAMPTON, NJ 08088

**UTILITY PROVIDER LIST**

NAME	ADDRESS
PUBLIC SERVICE ELECTRIC & GAS	MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T68 NEWARK, NJ 07102
VERIZON	540 BROAD STREET - ROOM 305 NEWARK, NJ 07101
CONNECTIV REAL ESTATE DEPT	1500 HARDING HIGHWAY, STE 399 MAYS LANDING, NJ 08330-9902
ELIZABETHTOWN WATER	C/O PROPERTY MANAGER 1341 NORTH AVENUE PLAINFIELD, NJ 07061
PINELANDS WATER & WASTEWATER	P.O. BOX 499 ISELIN, NJ 08830-0499
COMCAST CABLE	1250 HADDONFIELD-BERLIN ROAD P.O. BOX 5025 CHERRY HILL, NJ 08625
NEW JERSEY DEPT. OF TRANSPORTATION	1035 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08625
BURLINGTON CO. PLANNING BOARD	1800 BRIGGS ROAD P.O. BOX 6000 MOUNT HOLLY, NJ 08060
TOWNSHIP OF SOUTHAMPTON	5 RETREAT ROAD SOUTHAMPTON, NJ 08088

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI

www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542  
Phone 609.362.6900

**ZONING RELIEF TABLE**

CODE SECTION	REQUIRED	PROPOSED	RELIEF TYPE
§ 12-2.10.1	OFF-STREET PARKING REQUIREMENTS	SIZE OF PARKING STALL: 10 FT X 20 FT	9 FT X 20 FT (V) VARIANCE
§ 12-3.10.2	OFF-STREET PARKING REQUIREMENTS	PARKING SPACES SHALL BE LOCATED AT LEAST 20 FT FROM ANY BUILDING AND 15 FT FROM ANY STREET RIGHT-OF-WAY. NO LOADING AREAS IN THE FRONT YARD.	5.50 FT (V) VARIANCE
§ 12-3.14.2.a		SCENIC SETBACK: SHALL EQUAL THE AREA 200 FT MEASURED FROM THE ULTIMATE RIGHT-OF-WAY LINE OF THE DESIGNATED SCENIC ROADWAY. NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENTS SHALL BE ALLOWED WITHIN THE SETBACK AREA.	68.0 FT (V) VARIANCE
§ 12-3.14.2.b(1)		SCENIC LANDSCAPE BUFFER: PRESERVABLE RURAL LANDSCAPE A PLANTED SCENIC CORRIDOR BUFFER SHALL BE PROVIDED WITHIN 100 FT NEAREST TO THE RIGHT-OF-WAY LINE.	68.0 FT (V) VARIANCE

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC DATED JUNE 10, 2020.
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
  - LOCATION MAP OBTAINED FROM BRIDGEPORT & WOODBURY QUADRANGLES 7.5 MIN SERIES
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LIGHTING DETAILS	C-8
SOIL EROSION & SEDIMENT CONTROL PLAN	C-9 - C-10
LANDSCAPING PLAN & DETAILS	C-11 - C-12
CONSTRUCTION DETAILS	C-13 - C-15

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

**DOLLAR GENERAL**  
PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY



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Princeton, NJ · Tampa, FL · Detroit, MI  
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15 Spring Street, Princeton, NJ 08542  
Phone 609.362.6900

NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY
1	08/14/2020	JMK

FOR MUNICIPAL SUBMISSION	DESCRIPTION



SCALE: AS SHOWN PROJECT ID: Z-19159

TITLE:  
**COVER SHEET**

DRAWING:  
**C-1**



SYMBOL	DESCRIPTION
[Hatched Box]	BUILDING
[Dotted Box]	CONCRETE SIDEWALK / MAT
[Horizontal Lines]	ASPHALT / CONCRETE CURB
[Dashed Line]	PROPERTY LINE
[Thin Dashed Line]	ADJACENT PROPERTY LINE
[Thin Solid Line]	CHAIN LINK FENCE
[Thin Dashed Line]	GUIDE RAIL
[Thin Solid Line]	MAST ARM LIGHT POLE
[Thin Solid Line]	POLE
[Thin Solid Line]	SIGNS
[Circle with X]	WATER VALVE
[Circle with X]	GAS VALVE
[Circle with X]	DRAIN
[Circle with X]	EDGE OF PAVEMENT
[Circle with X]	OVERHEAD WIRE
[Circle with X]	MAJOR CONTOUR
[Circle with X]	MINOR CONTOUR
[Circle with X]	GRADE SPOT SHOT
[Circle with X]	TOP OF CURB SHOT
[Circle with X]	BOTTOM OF CURB SHOT
[Circle with X]	DECIDUOUS TREE - DIAMETER NOTED
[Circle with X]	PINE TREE - DIAMETER NOTED
[Circle with X]	BENCH MARK

**SURVEY NOTES:**

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

30' 0' 30' 60'  
 GRAPHIC SCALE IN FEET  
 1" = 30'

NO.	DATE	BY	DESCRIPTION
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

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**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
 1823 ROUTE 206  
 SOUTHAMPTON TOWNSHIP  
 BURLINGTON COUNTY, NEW JERSEY

*Paul D. Mutch Jr.*

PAUL D. MUTCH JR., P.E.  
 NEW JERSEY LICENSE No. 55094  
 LICENSED PROFESSIONAL ENGINEER

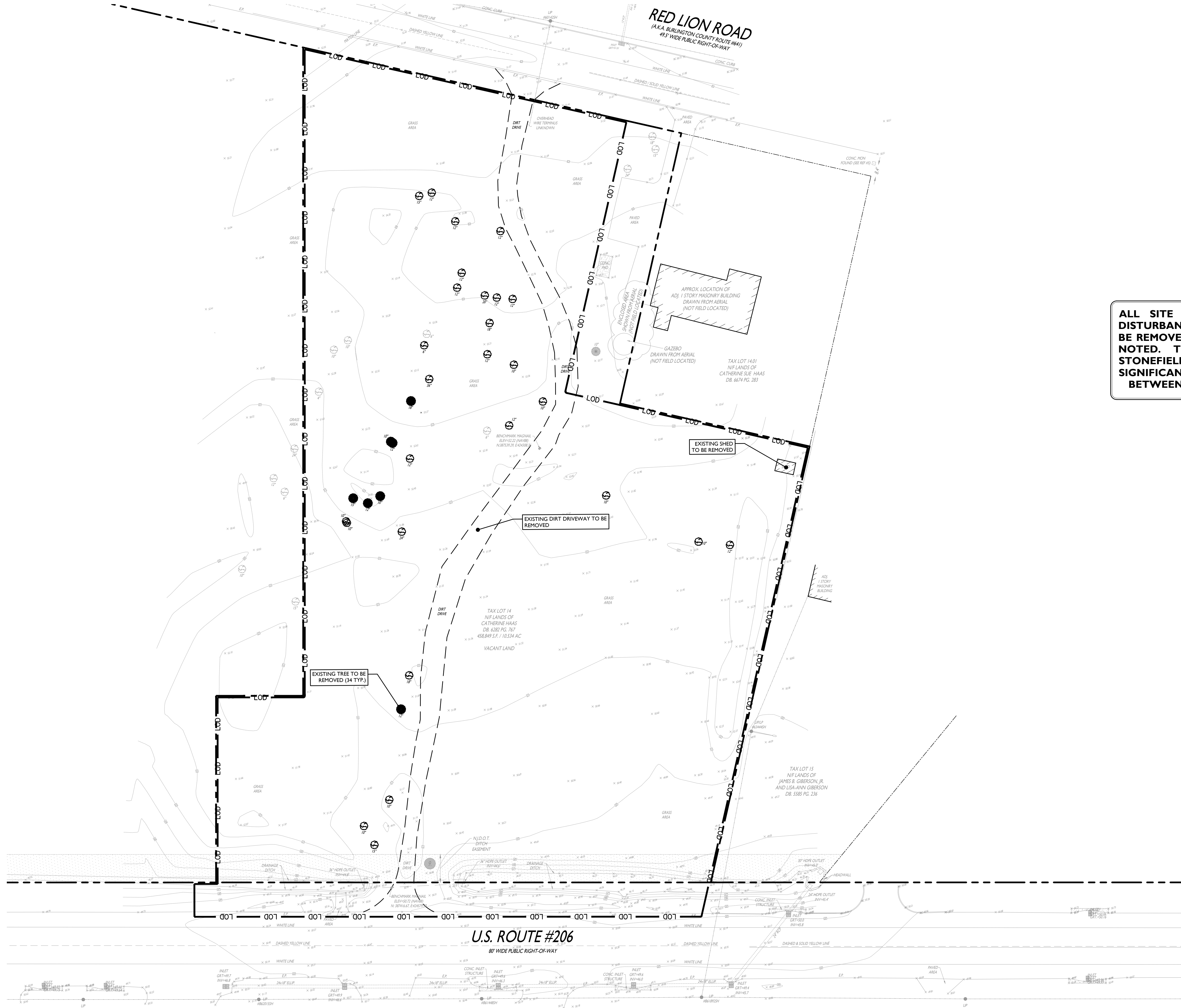
**STONEFIELD**  
 engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:  
**EXISTING CONDITIONS  
 PLAN**

DRAWING:  
**C-2**

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SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

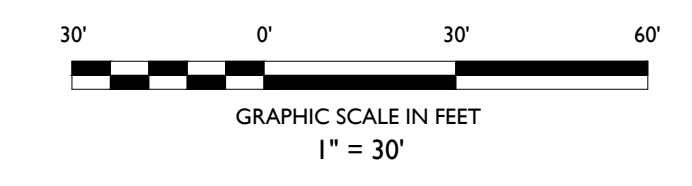
**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**



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**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	08/14/2020	JMK		FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION  
PLAN SET

**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

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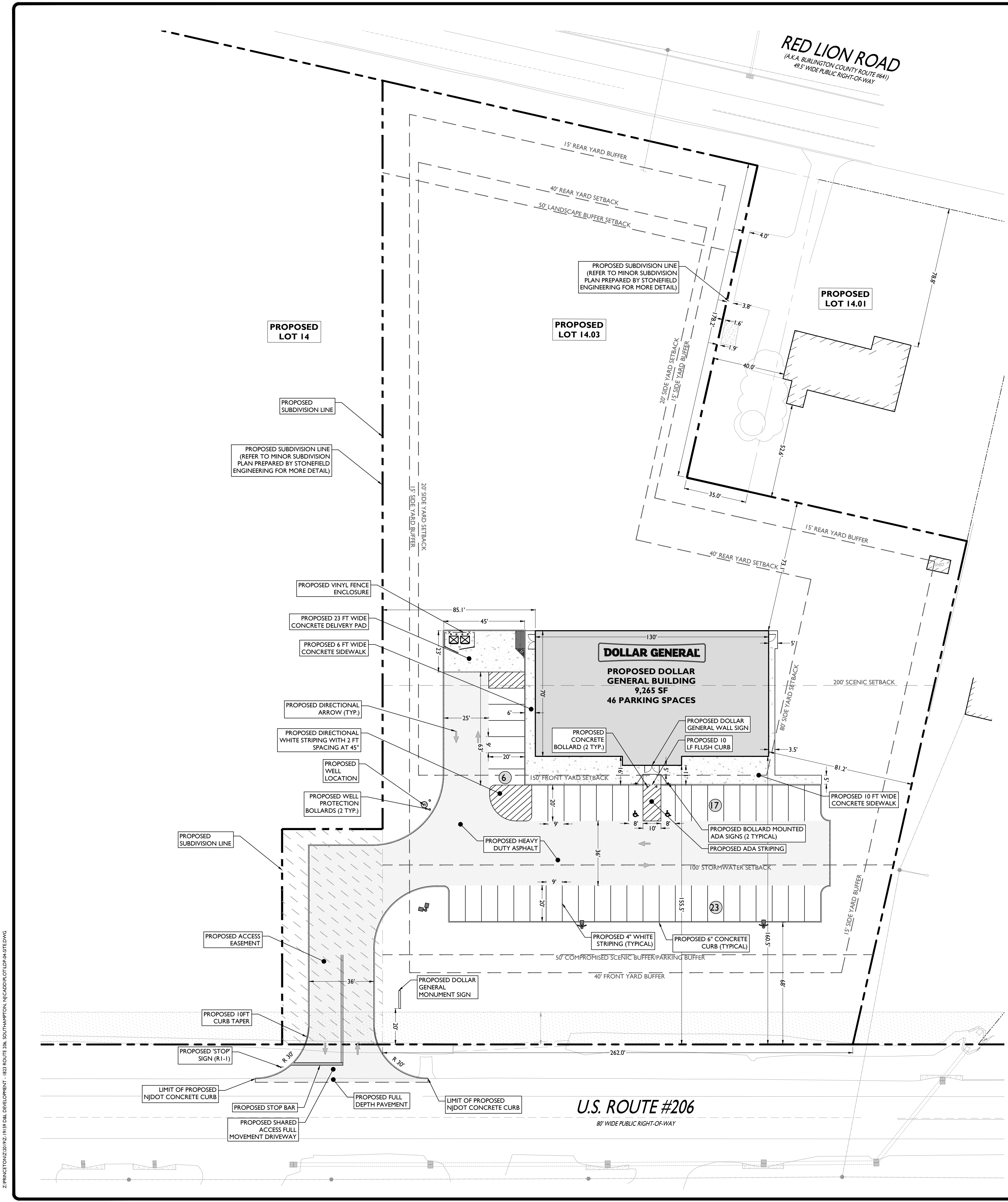
**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-3**

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**LAND USE AND ZONING**  
BLOCK 2203, LOT 14  
HIGHWAY COMMERCIAL (HC)

PROPOSED USE	PERMITTED USE	REQUIRED	EXISTING LOT 14	PROPOSED LOT 14.03	PROPOSED LOT 14
RETAIL COMMERCIAL ESTABLISHMENT	PERMITTED USE	2 AC (135,227.5 SF)	10.53 AC(458,849.0 SF)	3.11 AC(135,708.8 SF)	7.27 AC(316,900.9 SF)
ZONING REQUIREMENT	REQUIRED	2 AC (135,227.5 SF)	10.53 AC(458,849.0 SF)	3.11 AC(135,708.8 SF)	7.27 AC(316,900.9 SF)
MINIMUM LOT AREA	REQUIRED	200 FT	762.0 FT	262.0 FT	444.0 FT
MINIMUM LOT FRONTAGE	REQUIRED	200 FT	762.0 FT	262.0 FT	444.0 FT
MINIMUM LOT DEPTH	REQUIRED	300 FT	629.3 FT	537.0 FT	547.4 FT
MINIMUM SIDE YARD SETBACK (AGG.)	REQUIRED	100 FT	N/A	166.3 FT	N/A
MINIMUM SIDE YARD SETBACK (EACH)	REQUIRED	20 FT	N/A	81.2 FT	N/A
MINIMUM FRONT YARD SETBACK	REQUIRED	150 FT	N/A	155.5 FT	N/A
MINIMUM REAR YARD SETBACK	REQUIRED	40 FT	N/A	73.1 FT	N/A
FRONT YARD BUFFER	REQUIRED	40 FT	N/A	68.0 FT	N/A
REAR YARD BUFFER	REQUIRED	15 FT	N/A	58.1 FT	N/A
SIDE YARD BUFFER	REQUIRED	15 FT	N/A	80.8 FT	N/A
MAXIMUM FLOOR AREA RATIO	REQUIRED	0.50	N/A	0.065	N/A
MAXIMUM IMPERVIOUS COVERAGE	REQUIRED	50%	N/A	27.8%	N/A
MAXIMUM BUILDING HEIGHT	REQUIRED	35 FT	N/A	18 FT	N/A

(N/A) NOT APPLICABLE

**LAND USE AND ZONING**  
BLOCK 2203, LOT 14.01  
HIGHWAY COMMERCIAL (HC)

PROPOSED USE	PERMITTED USE	REQUIRED	EXISTING LOT 14.01	PROPOSED LOT 14.01
RETAIL COMMERCIAL ESTABLISHMENT	PERMITTED USE	2 AC (135,227.5 SF)	0.51 AC(22,280.2 SF) (EN)	0.65 AC(28,519.5 SF) (EN)
ZONING REQUIREMENT	REQUIRED	2 AC (135,227.5 SF)	0.51 AC(22,280.2 SF) (EN)	0.65 AC(28,519.5 SF) (EN)
MINIMUM LOT AREA	REQUIRED	200 FT	125.0 FT	159.9 FT (EN)
MINIMUM LOT FRONTAGE	REQUIRED	200 FT	125.0 FT	159.9 FT (EN)
MINIMUM LOT DEPTH	REQUIRED	300 FT	178.2 FT (EN)	178.2 FT (EN)
MINIMUM SIDE YARD SETBACK (AGG.)	REQUIRED	100 FT	59.4 FT (EN)	94.4 FT (EN)
MINIMUM SIDE YARD SETBACK (EACH)	REQUIRED	20 FT	5.0 FT (EN)	40.0 FT
MINIMUM FRONT YARD SETBACK	REQUIRED	150 FT	78.7 FT (EN)	78.7 FT (EN)
MINIMUM REAR YARD SETBACK	REQUIRED	40 FT	52.4 FT	52.4 FT
FRONT YARD BUFFER	REQUIRED	40 FT	78.7 FT	78.7 FT
REAR YARD BUFFER	REQUIRED	15 FT	30.70 FT	30.70 FT
SIDE YARD BUFFER	REQUIRED	15 FT	0.0 FT (EN)	22.00 FT
MAXIMUM FLOOR AREA RATIO	REQUIRED	0.50	0.099	0.077
MAXIMUM IMPERVIOUS COVERAGE	REQUIRED	50%	12.9%	17.8%
MAXIMUM BUILDING HEIGHT	REQUIRED	35 FT	< 35 FT	< 35 FT

(EN) EXISTING NONCONFORMITY

**OFF-STREET PARKING REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 12-5.10b	MINIMUM 90' 2-WAY AISLE WIDTH: 25 FT	25 FT; COMPLIES
§ 12-5.10c	NONRESIDENTIAL ACCESS: DRIVES SHALL BE LIMITED TO TWO FOR ANY STREET EXCEPT WHEN FRONTAGE EXCEEDS 500 FT. EACH DRIVE SHALL NOT BE MORE THAN TWO LANES OF TRAFFIC, AT LEAST 100 FT FROM INTERSECTING STREETS, AND BE AT LEAST 20 FT FROM ANY PROPERTY LINE.	COMPLIES
§ 12-5.10d	PARKING AREAS CONTAINING SIX OR MORE SPACES AND ALL OFF-STREET LOADING AREAS SHALL HAVE CONCRETE CURBING AROUND THE PERIMETER.	COMPLIES
§ 12-5.10e	PARKING AREAS FOR SIX OR MORE VEHICLES AND LOADING AREAS FOR NONRESIDENTIAL USES SHALL BE BUFFERED FROM ADJOINING STREETS AND RESIDENTIAL USES.	COMPLIES
§ 12-5.10f	SIZE OF PARKING STALL: 10 FT X 20 FT	9 FT X 20 FT (V)
§ 12-5.10j,23	PARKING SPACE REQUIREMENT: (RETAIL STORE) 1 PER 200 SF OF GROSS FLOOR AREA 9,100 SF / 200 = 45.5 → 46 SPACES	46 SPACES; COMPLIES
§ 12-5.10k,2	PARKING SPACES SHALL BE LOCATED AT LEAST 20 FT FROM ANY BUILDING AND 15 FT FROM ANY STREET RIGHT-OF-WAY. NO LOADING AREAS IN THE FRONT YARD.	6' FT (BUILDING) (V) 68' (STREET) COMPLIES (LOADING)
§ 12-5.10k,3	NO PARKING OR LOADING SPACE SHALL BE LOCATED IN ANY REQUIRED BUFFER AREA.	PARKING WITHIN SCENIC SETBACK (V)
§ 12-5.10m,2	HANDICAPPED SPACES SHALL BE IDENTIFIED BY A SIGN FACING THE END OF EACH SPACE AND BY PAINTING IN THE SPACE ITSELF DISPLAYING THE INTERNATIONAL SYMBOL.	COMPLIES
§ 12-5.10n	LOADING SPACE DIMENSION: 60 FT LENGTH x 10 FT WIDTH	25 FT X 63 FT
§ 12-5.10o	LOADING SPACE REQUIRED PER 10,000 SF OF GROSS FLOOR AREA 9,100 SF BUILDING = 0 LOADING SPACES REQUIRED	1 LOADING SPACE

(V) VARIANCE  
(TBD) TO BE DETERMINED

**SIGNAGE REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 12-5.15.c.5	ILLUMINATED SIGNS SHALL BE ARRANGED SUCH THAT NO LIGHT OR GLARE IS DIRECTED OR REFLECTED TO ADJOINING LOTS OR STREET OR INTO RESIDENTIAL WINDOWS.	COMPLIES
§ 12-5.15.c.10.d	EACH PRINCIPAL USE NOT PART OF A SHOPPING CENTER MAY HAVE ONE FREESTANDING SIGN AND ONE ATTACHED SIGN.	COMPLIES
§ 12-5.15.c.10.d	ATTACHED SIGNS SHALL NOT EXCEED 10% OF THE WALL SURFACE AREA OF THE WALL OF WHICH SAID SIGN IS ATTACHED.	COMPLIES
§ 12-5.15.c.10.d	18.5 FT x 130.0 FT = 2,405 SF x .10 = 240.5 SF PERMITTED	50 SF
§ 12-5.15.c.10.d(1)	THE AREA ON ONE SIDE OF ALL SUCH FREESTANDING SIGNS ERRECTED ON ONE STREET FRONTAGE SHALL NOT EXCEED 50 SF.	COMPLIES
§ 12-5.15.c.10.d(2)	SUCH SIGN, EXCEPT A DIRECTIONAL SIGN, IS ERRECTED ONLY ON THE PREMISES ON WHICH THE USE, TO WHICH THE SIGN RELATES, IS CONDUCTED.	COMPLIES
§ 12-5.15.c.10.d(3)	MAXIMUM SIGN HEIGHT = 10 FT	8 FT
§ 12-5.15.c.10.d(4)	SIGN SETBACK = MINIMUM 10 FT FROM ALL STREET AND PROPERTY LINES.	20 FT

(TBD) TO BE DETERMINED

**SCENIC CORRIDOR OVERLAY DISTRICT REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 12-3.14.c.2.a	SCENIC SETBACK: SHALL EQUAL THE AREA 200 FT MEASURED FROM THE ULTIMATE RIGHT-OF-WAY LINE OF THE DESIGNATED SCENIC ROADWAY; NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENTS SHALL BE ALLOWED WITHIN THE SETBACK AREA.	68.0 FT (V)
§ 12-3.14.c.2.b(1)	SCENIC LANDSCAPE BUFFER: PRESERVABLE RURAL LANDSCAPE: A PLANTED SCENIC CORRIDOR BUFFER SHALL BE PROVIDED WITHIN 100 FT NEAREST TO THE RIGHT-OF-WAY LINE.	68.0 FT (V)
§ 12-3.14.c.2.c(1)	NO MORE THAN ONE STREET ACCESS DRIVEWAY CUT SHALL BE PERMITTED PER LOT.	COMPLIES

(V) VARIANCE

**SYMBOL DESCRIPTION**

	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED FLUSH CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED EXTENDED CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED RETAINING WALL
	PROPOSED HANDRAIL
	PROPOSED CHAINLINK FENCE
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED GUIDERAIL
	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

**PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET**

**DOLLAR GENERAL**  
PROPOSED DOLLAR GENERAL

Block 2203, Lot 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.  
NEW JERSEY LICENSE No. 55094  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE: **SITE PLAN**

DRAWING: **C-4**

FOR MUNICIPAL SUBMISSION

DATE: 08/14/2020

ISSUE: 1

BY: JMK

DESCRIPTION: NOT APPROVED FOR CONSTRUCTION

Rutherford, NJ - New York, NY - Boston, MA  
Princeton, NJ - Tampa, FL - Detroit, MI  
www.stonefielddesign.com

15 Spring Street, Princeton, NJ 08542  
Phone 609.362.6900

**RED LION ROAD**  
(A.K.A. BURLINGTON COUNTY ROUTE #41)  
#15 WIDE PUBLIC RIGHT-OF-WAY

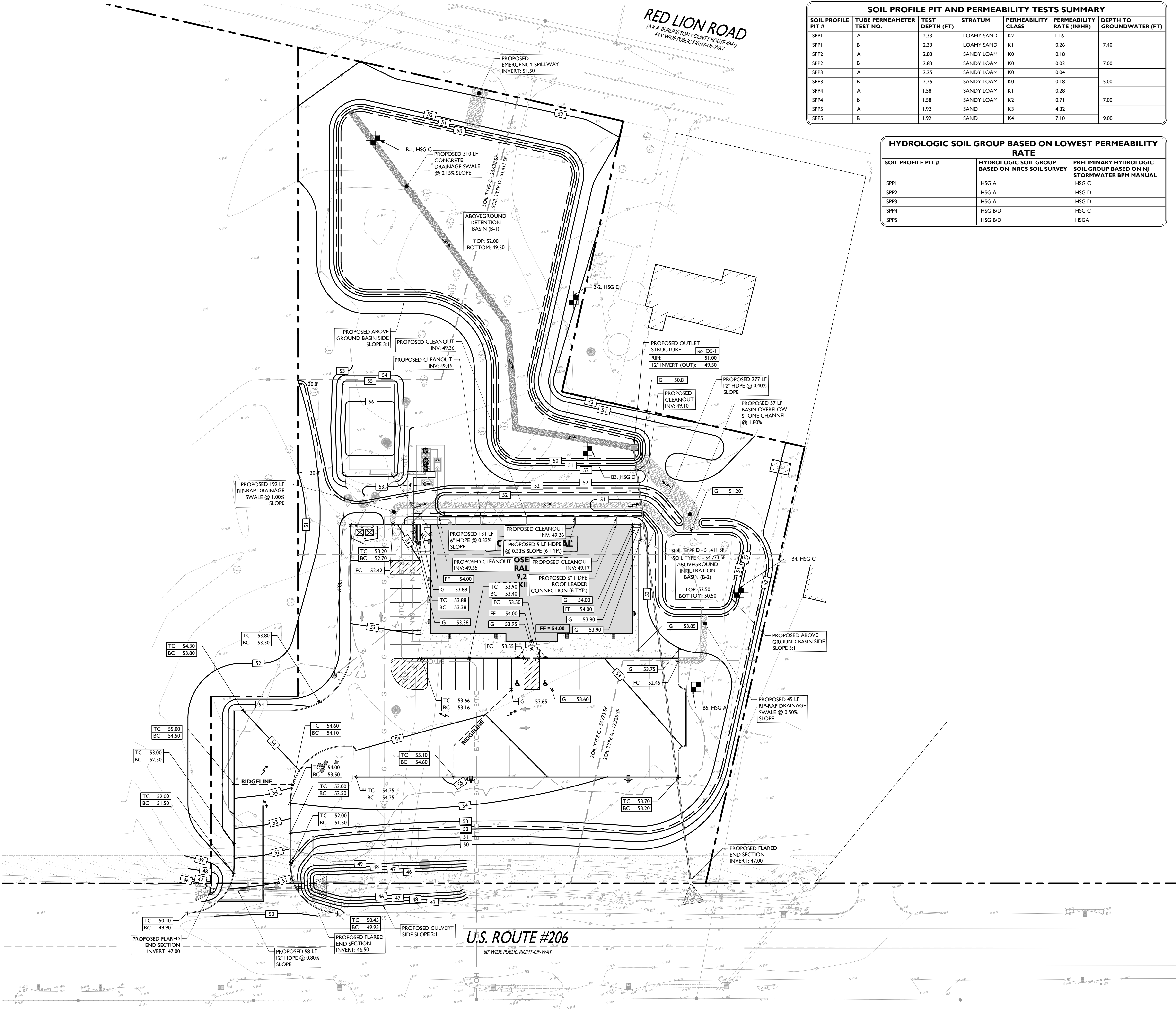
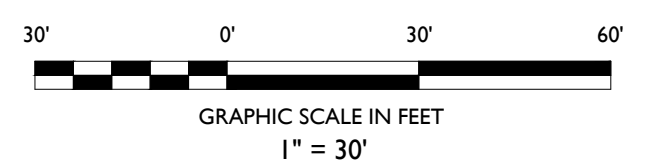
SOIL PROFILE PIT AND PERMEABILITY TESTS SUMMARY						
SOIL PROFILE PIT #	TUBE PERMEAMETER TEST NO.	TEST DEPTH (FT)	STRATUM	PERMEABILITY CLASS	PERMEABILITY RATE (IN/HR)	DEPTH TO GROUNDWATER (FT)
SPP1	A	2.33	LOAMY SAND	K2	1.16	
SPP1	B	2.33	LOAMY SAND	K1	0.26	7.40
SPP2	A	2.83	SANDY LOAM	K0	0.18	
SPP2	B	2.83	SANDY LOAM	K0	0.02	7.00
SPP3	A	2.25	SANDY LOAM	K0	0.04	
SPP3	B	2.25	SANDY LOAM	K0	0.18	5.00
SPP4	A	1.58	SANDY LOAM	K1	0.28	
SPP4	B	1.58	SANDY LOAM	K2	0.71	7.00
SPP5	A	1.92	SAND	K3	4.32	
SPP5	B	1.92	SAND	K4	7.10	9.00

HYDROLOGIC SOIL GROUP BASED ON LOWEST PERMEABILITY RATE		
SOIL PROFILE PIT #	HYDROLOGIC SOIL GROUP BASED ON NRCS SOIL SURVEY	PRELIMINARY HYDROLOGIC SOIL GROUP BASED ON NJ STORMWATER BMP MANUAL
SPP1	HSG A	HSG C
SPP2	HSG A	HSG D
SPP3	HSG A	HSG D
SPP4	HSG B/D	HSG C
SPP5	HSG B/D	HSG A

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X DC 100.13 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING THE BASEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THE CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.



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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION  
PLAN SET

**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

*Paul D. Mutch Jr.*

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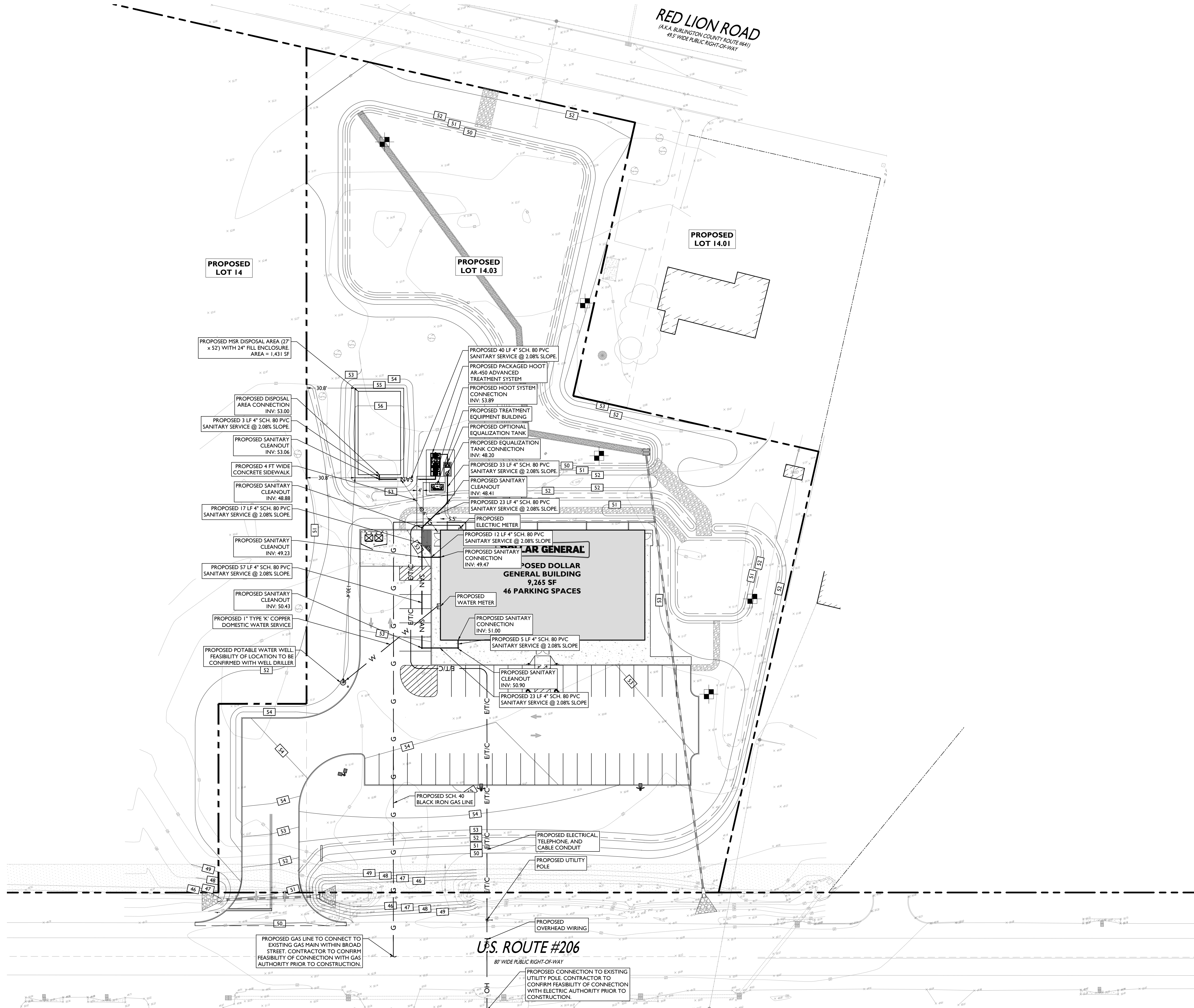
**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:  
**GRADING & DRAINAGE PLAN**

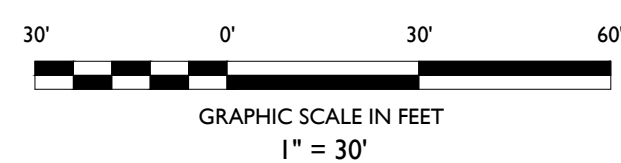
DRAWING:  
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Z:\PROJECTS\2020\19159\19159.DWG (DATE DEVELOPER: 1/20/20) SOUTHAMPTON, NJ\CDR\DWG\19159-GRADING.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— T/C —	PROPOSED DATA CONDUITS
— E —	PROPOSED ELECTRIC CONDUITS
— OH —	PROPOSED OVERHEAD WIRES
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊥	PROPOSED WATER TEE / BEND
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊕	PROPOSED SANITARY MANHOLE / CLEANOUT
⊕	PROPOSED UTILITY POLE
⊕	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DISPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



DATE	BY	DESCRIPTION
08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION  
PLAN SET

**DOLLAR GENERAL**

**PROPOSED DOLLAR GENERAL**

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

*Paul D. Mutch Jr.*

PAUL D. MUTCH JR., P.E.  
NEW JERSEY LICENSE NO. 55094  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:  
**UTILITY PLAN**

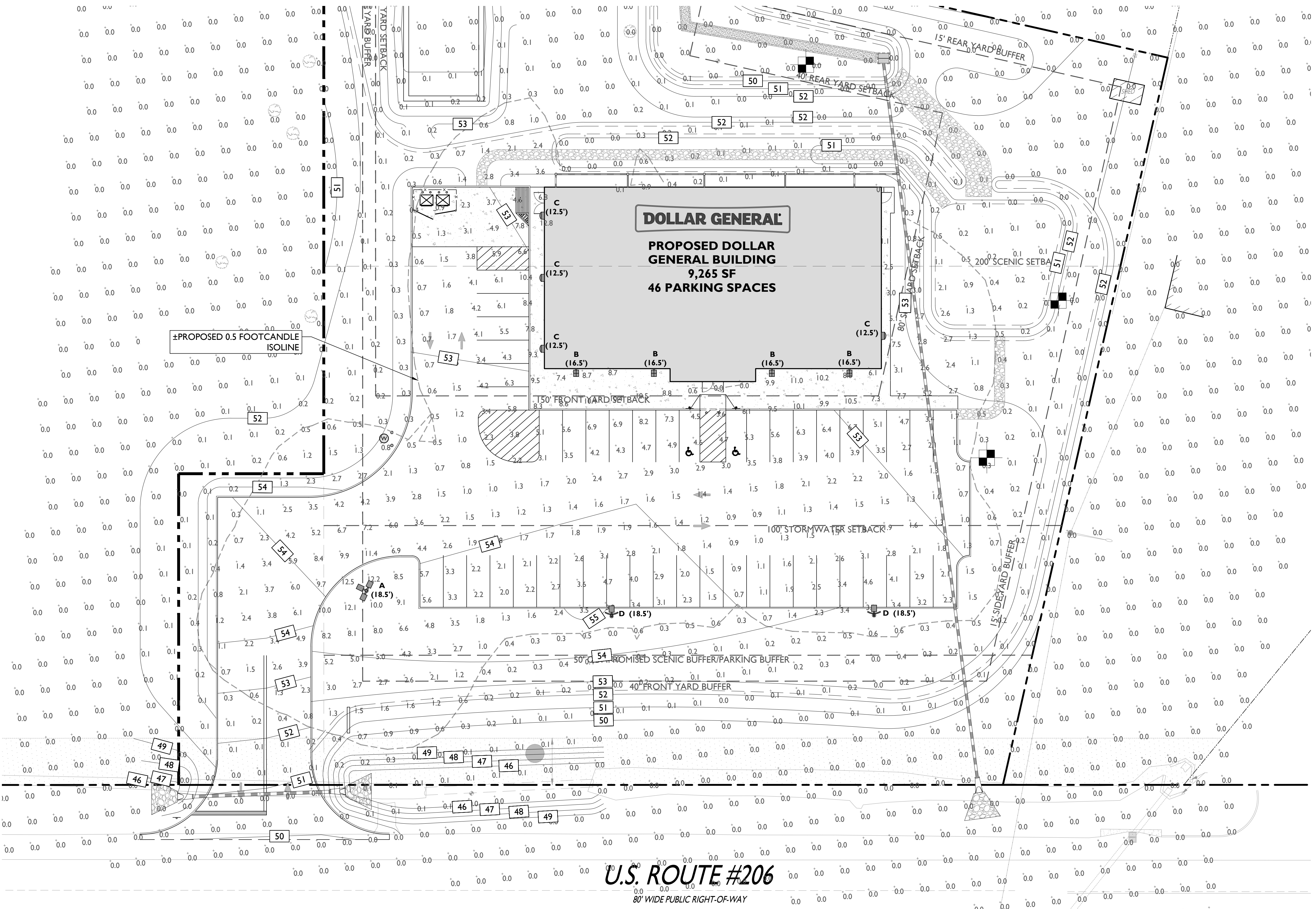
DRAWING:  
**C-6**

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LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	FIXTURE DETAILS	TYPE	LLF	MANUFACTURER IES FILE
	A	1	(3) LED AREA LIGHTS ON 24' POLE	3	0.9	TECHLIGHT LSBT-1CXBT3F.IES
	B	4	LED AREA LIGHT ON WALL MOUNT 42" EXTENSION ARM	3	0.9	TECHLIGHT LSBT-1CXBT3F.IES
	C	4	QUBEFLOOD4 LIGHT WITH RIGHT ANGLE BRACKET	3	0.9	US LED QF4-X-UNV-50-150.IES
	A	2	(1) LED AREA LIGHT ON 24' POLE	3	0.9	TECHLIGHT LSBT-1CXBT3F.IES

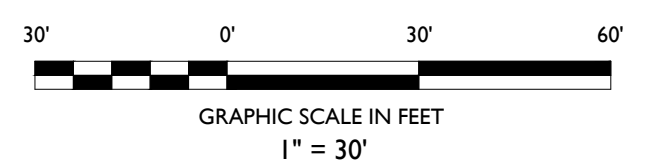
TOWNSHIP OF SOUTHAMPTON LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 12-5.8 (b)	THE LIGHT INTENSITY PROVIDED AT GROUND LEVEL SHALL BE INDICATED IN FOOTCANDLES AND SHALL AVERAGE AT LEAST 0.5 FC AND NOT EXCEED A MAXIMUM OF 1.0 FC.	12.8 FOOTCANDLES
	LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN 25 FT OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS.	18.5 FT; COMPLIES
§ 12-5.8 (d)	LIGHT SPILLAGE OF MORE THAN 0.2 FOOTCANDLES ONTO ADJACENT PROPERTIES SHALL BE PROHIBITED. NO LIGHTS SHALL BE OF A ROTATING, PULSATING OR OTHER INTERMITTENT FREQUENCY.	0.2 FOOTCANDLES; COMPLIES

- NOTES:
- ALL EXISTING TREE LIMBS WITHIN 60 FOOT ATM RADIUS SHOWN ON PLAN SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS TO BE TRIMMED TO 36" HIGH WITHIN 60 FOOT ATM RADIUS. ALL BRUSH SHALL BE REMOVED. FUTURE GROWTH AND FULL BLOOM SHALL BE CONSIDERED. EXISTING TREE LIMBS SHALL BE TRIMMED TO PREVENT LIGHT INTERFERENCE AS NECESSARY.
  - PRIOR TO BID, CONTRACTOR SHALL MAKE NOTE OF EXISTING EXTERIOR LIGHTING AT NIGHT AND NOTIFY OWNER OF DAMAGED OR INOPERABLE LIGHTS ON PLANS TO DETERMINE WHETHER REPAIRS SHALL BE MADE. CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS NOTED FOR REPLACEMENT ON THESE PLANS. THIS LIGHTING DESIGN IS BASED ON THE BANK'S CURRENT POLICY FOR EXTERIOR ATMS.
  - ALL LIGHTS TO HAVE PHOTOCCELL OPTION ENABLED.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT EQUAL TO OR EQUAL TO THE FOLLOWING WATTAGE:
    - FIXTURE 'X' = MINIMUM X WATTS
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
  - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
  - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
  - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
  - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCCELL OPTION ENABLED.
  - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET		FOR MUNICIPAL SUBMISSION	
DOLLAR GENERAL		JMK	BY
PROPOSED DOLLAR GENERAL		08/14/2020	DATE
BLOCK 2203, LOT 14 1823 ROUTE 206 SOUTHAMPTON TOWNSHIP BURLINGTON COUNTY, NEW JERSEY		1	ISSUE
 STONEFIELD engineering & design Rutherford, NJ • New York, NY • Boston, MA Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com 15 Spring Street, Princeton, NJ 08542 Phone 609.362.6900		<b>NOT APPROVED FOR CONSTRUCTION</b>  <b>DOLLAR GENERAL</b> PROPOSED DOLLAR GENERAL BLOCK 2203, LOT 14 1823 ROUTE 206 SOUTHAMPTON TOWNSHIP BURLINGTON COUNTY, NEW JERSEY  PAUL D. MUTCH JR., P.E. NEW JERSEY LICENSE NO. 55094 LICENSED PROFESSIONAL ENGINEER  SCALE: 1" = 30' PROJECT ID: Z-19159 TITLE: LIGHTING PLAN DRAWING: C-7	





STANDARD FOR TOPSOILING

METHODS AND MATERIALS

- 1. MATERIALS
A. TOPSOIL SHOULD BE FRIABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH...

- 2. STRIPPING AND STOCKPILING
A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING...

- 3. APPLYING TOPSOIL
A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE...

SEEDBED SPECIFICATIONS

- 1. PERMANENT VEGETATIVE COVER. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED...
2. TEMPORARY VEGETATIVE COVER. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS...

DUST CONTROL NOTES

- 1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
2. VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1...

SOIL PROFILE PIT AND PERMEABILITY TESTS SUMMARY table with columns: SOIL PROFILE, TUBE PERMEAMETER TEST NO., TEST DEPTH (FT), STRATUM, PERMEABILITY CLASS, PERMEABILITY RATE (IN/HR), DEPTH TO GROUNDWATER (FT)

HYDROLOGIC SOIL GROUP BASED ON LOWEST PERMEABILITY RATE table with columns: SOIL PROFILE PIT #, HYDROLOGIC SOIL GROUP BASED ON NRCS SOIL SURVEY, PRELIMINARY HYDROLOGIC SOIL GROUP BASED ON NJ STORMWATER BMP MANUAL

BURLINGTON COUNTY NOTES

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY...

SYMBOL DESCRIPTION table with columns: SYMBOL, DESCRIPTION

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS...

SOIL CHARACTERISTICS CHART

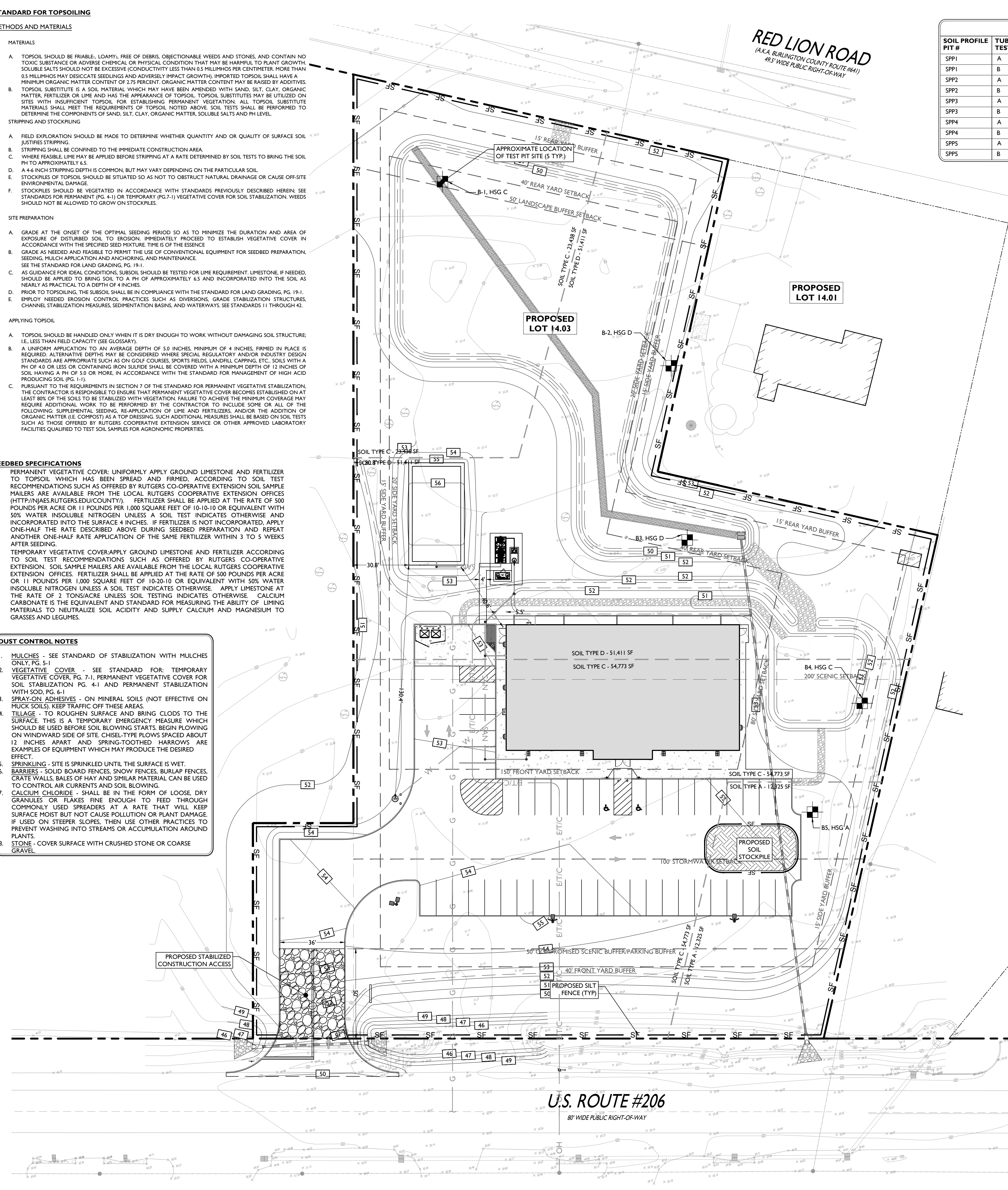
SOIL CHARACTERISTICS CHART table with columns: TYPE OF SOIL, PERCENT OF SITE COVERAGE, HYDROLOGIC SOIL GROUP, DEPTH TO RESTRICTIVE LAYER, SOIL PERMEABILITY, DEPTH TO WATER TABLE

SEQUENCE OF CONSTRUCTION

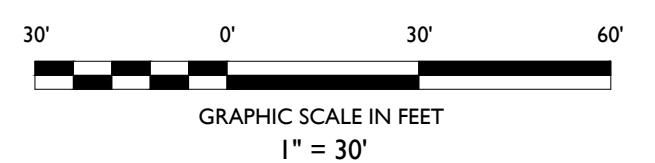
- 1. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE (2 DAYS).
2. DEMOLISH EXISTING PAVEMENT AND GRAVEL (7 DAYS).
3. ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).

STABILIZATION SPECIFICATIONS:

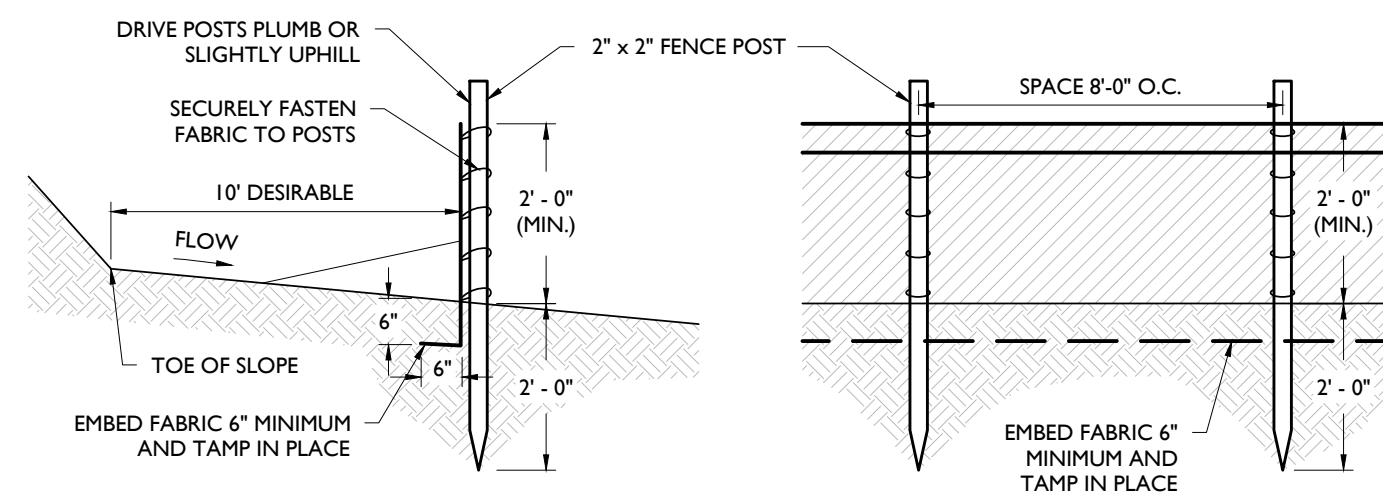
- I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4"...



Know what's below Call before you dig.



Vertical sidebar containing Stonefield engineering & design logo, Dollar General logo, project information (PROPOSED DOLLAR GENERAL), and drawing title (SOIL EROSION & SEDIMENT CONTROL PLAN).

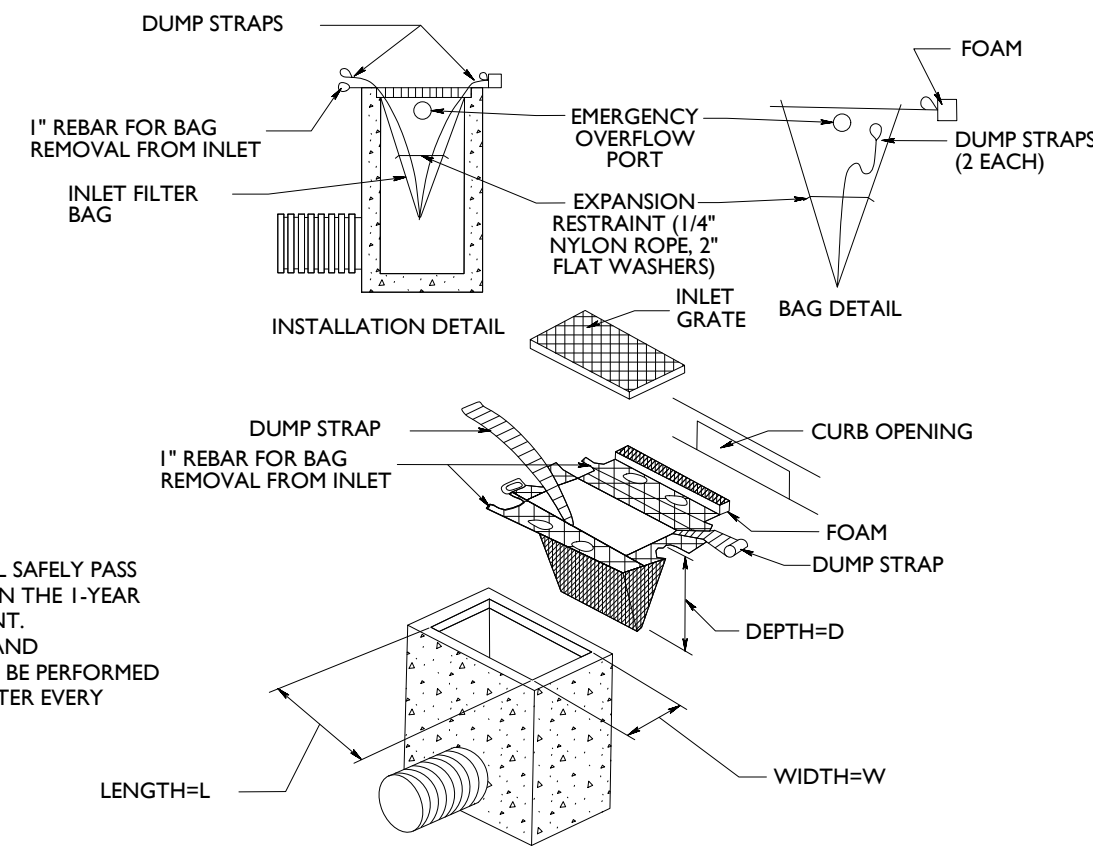


- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
  2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
  3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
  4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

**SILT FENCE DETAIL**

NOT TO SCALE

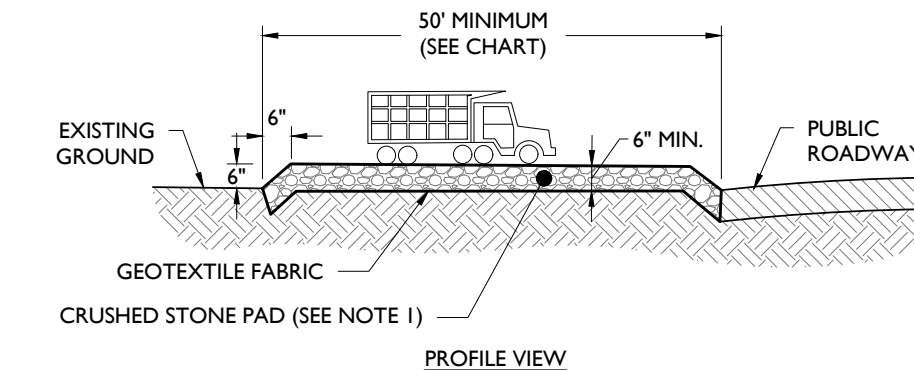
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**INLET FILTER BAG DETAIL**

NOT TO SCALE

2



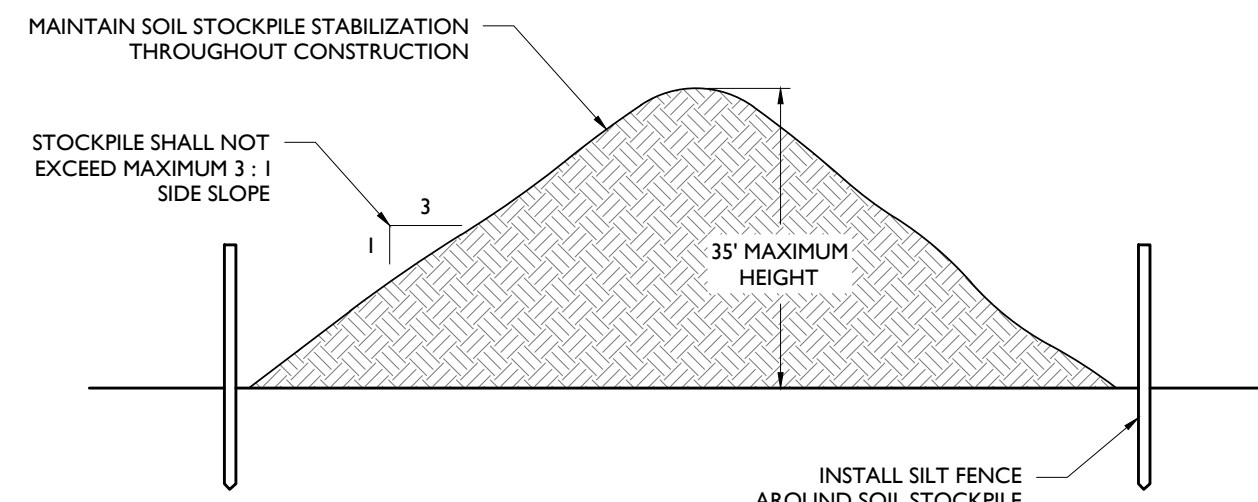
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET	200 FEET
2% TO 5%	100 FEET	200 FEET	SEE NOTE 4
> 5%	SEE NOTE 4		

- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
  2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
  3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
  4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
  5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

**STABILIZED CONSTRUCTION ACCESS DETAIL**

NOT TO SCALE

3

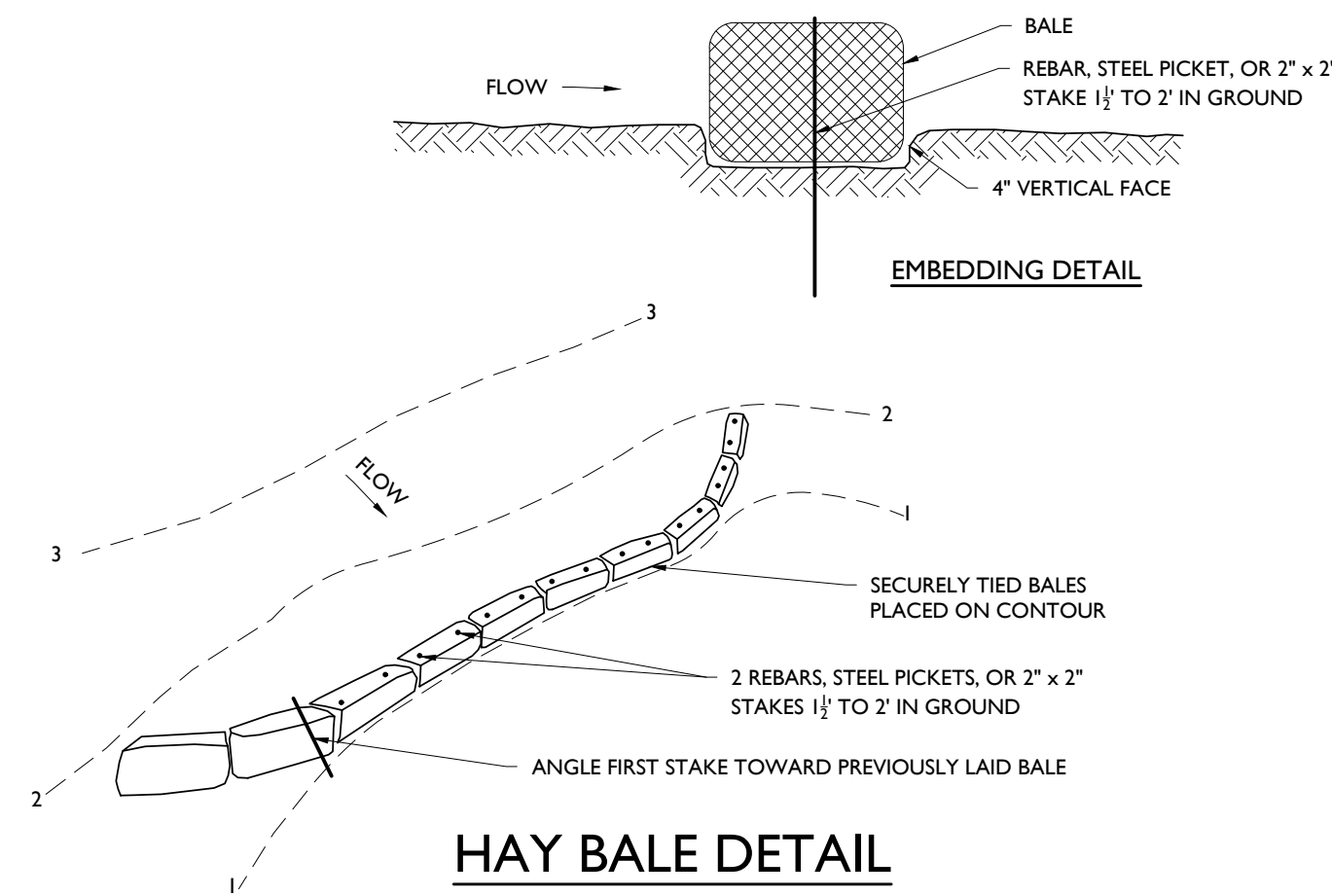


- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**

NOT TO SCALE

4



**HAY BALE DETAIL**

NOT TO SCALE

5

**SOIL DE-COMPACTION AND TESTING REQUIREMENTS**

**SOIL COMPACTION TESTING REQUIREMENTS**

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 4.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN, (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**COMPACTION TESTING METHODS**

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

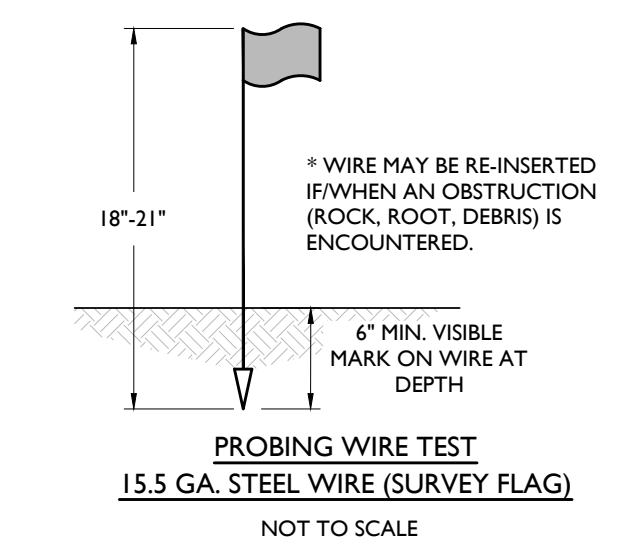
1. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
2. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

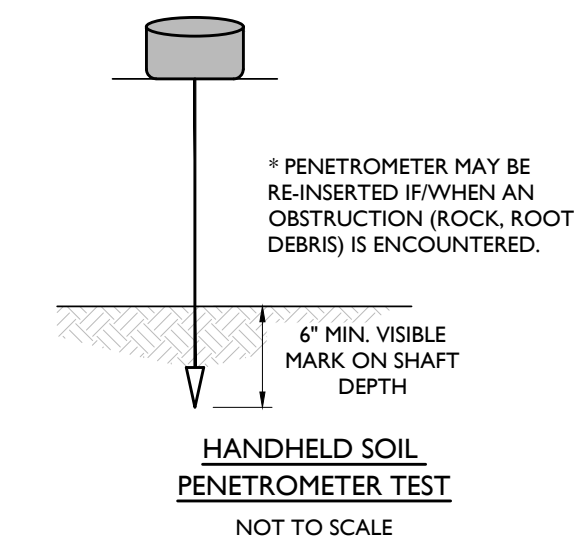
1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

RECORD DEPTH OF PENETRATION WHEN WIRE DEFORMS; MINIMUM DEPTH OF 6" TO PASS TEST. EITHER PREMEDITATE OR PERFORM THE NEXT TEST.



NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6"



6

NO.	DATE	ISSUE	BY	DESCRIPTION
1	08/14/2020	ISSUE	JMK	FOR MUNICIPAL SUBMISSION

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Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

*Paul D. Mutch Jr.*

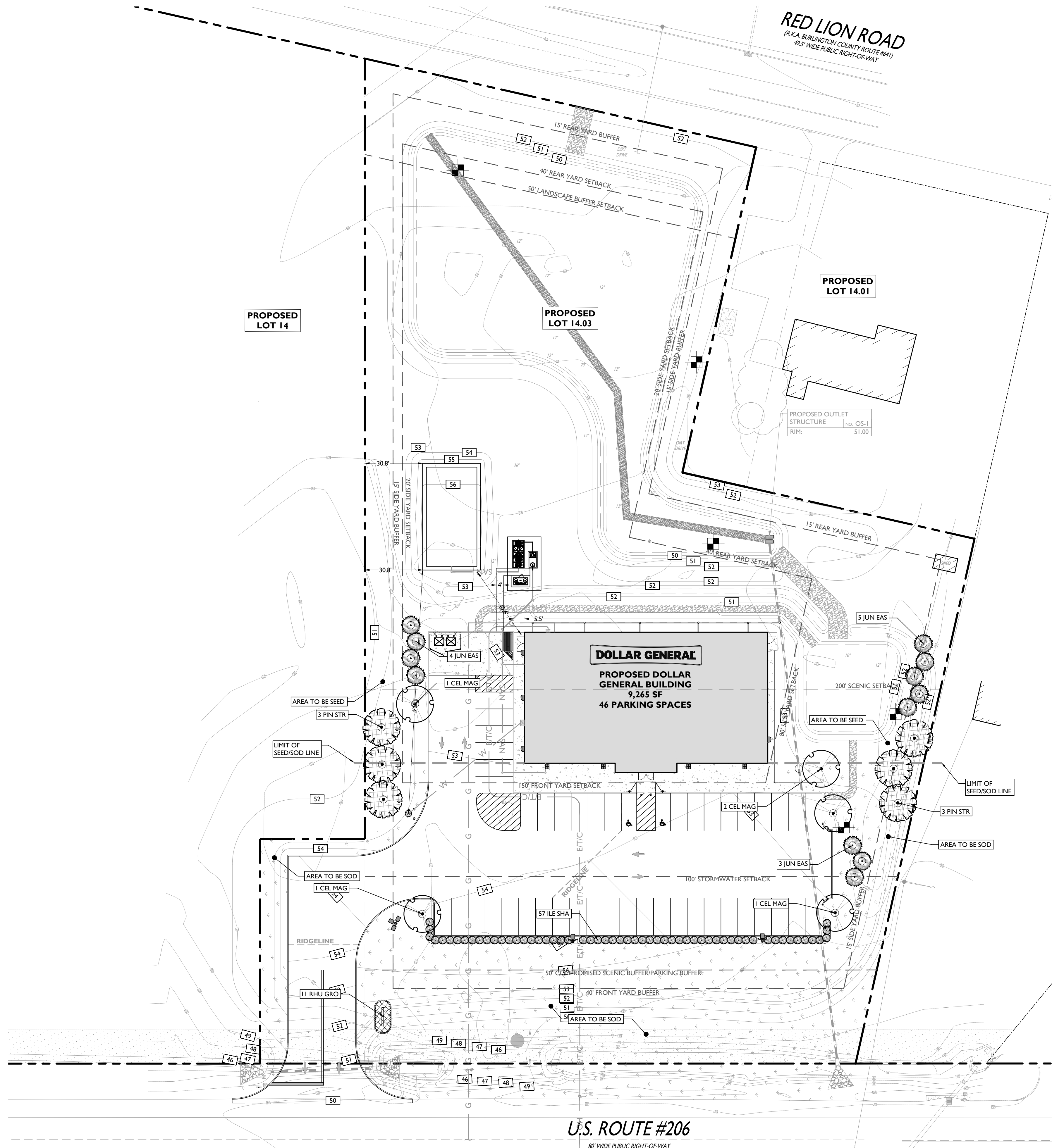
PAUL D. MUTCH JR., P.E.  
NEW JERSEY LICENSE NO. 55094  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: Z-19159

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS**

DRAWING:  
**C-10**



**RED LION ROAD**  
 (A.K.A. BURLINGTON COUNTY ROUTE #41)  
 #15 WIDE PUBLIC RIGHT-OF-WAY

PROPOSED LOT 14

PROPOSED LOT 14.03

PROPOSED LOT 14.01

**DOLLAR GENERAL**  
 PROPOSED DOLLAR GENERAL BUILDING  
 9,265 SF  
 46 PARKING SPACES

PROPOSED OUTLET STRUCTURE  
 NO. OS-1  
 RIM: \$1.00



**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**LANDSCAPING NOTES**

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

**PLANT SCHEDULE**

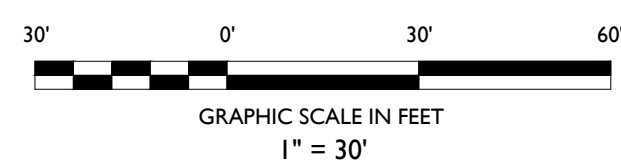
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	CEL MAG	5	CELTIS OCCIDENTALIS 'MAGNIFICA'	MAGNIFICA HACKBERRY	2.5" - 3" CAL	B&B
<b>EVERGREEN TREES</b>						
	JUN EAS	12	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' - 7' HT	B&B
	PIN STR	6	PINUS STROBUS	WHITE PINE	6' - 7' HT	B&B
<b>EVERGREEN SHRUBS</b>						
	ILE SHA	57	ILEX GLABRA 'SHAMROCK'	INKBERRY	18" - 24"	B&B
<b>SHRUB AREAS</b>						
	RHU GRO	11	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL	42" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

**LANDSCAPING, SCENIC CORRIDOR, AND BUFFER REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 12-3.14.c(2)(a) GENERAL SCENIC CORRIDOR OVERLAY	NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENT SHALL BE ALLOWED WITHIN THE SETBACK AREA, EXCEPT FOR THE FOLLOWING: SIDEWALKS, BICYCLE PATHS, PEDESTRIAN TRAILS, LANDSCAPING, UNDERGROUND UTILITIES, DRIVEWAY ACCESS, GROUND MOUNTED POLE OR OTHER LIGHTING.	DOES NOT COMPLY (V)
§ 12-3.14.c(2)(b)(2) SCENIC CORRIDOR OVERLAY	COMPROMISED/HIGH ACTIVITY/COMMERCIAL LANDSCAPE. AN ADEQUATE AMOUNT OF BUFFER PLANTINGS AND SCREENINGS IN ACCORDANCE WITH SUBSECTION 12-5.2 OF THE TOWNSHIP CODE SHALL BE PROVIDED.	DOES NOT COMPLY (V)
§ 12-3.14.c(2)(c)(1) SCENIC CORRIDOR OVERLAY	NO MORE THAN ONE STREET ACCESS DRIVEWAY CUT SHALL BE PERMITTED PER LOT.	COMPLIES
§ 12-3.6.(12) GENERAL REQUIREMENTS	PAVED PARKING AREAS SHALL PROVIDE LANDSCAPED PLANTING STRIPS, PARTICULARLY AT THE ENDS OF PARKING ROWS. AREAS SHALL CONTAIN 2.5" CALIBER SHADE TREE	COMPLIES
§ 12-5.2.a BUFFERS AND SCENIC CORRIDORS	NO STRUCTURE, ACTIVITY, STORAGE OF MATERIALS, DRAINAGE BASINS, OR PARKING OF VEHICLES SHALL BE PERMITTED IN THE BUFFER AREA	DOES NOT COMPLY (V)
§ 12-5.2.b BUFFERS AND SCENIC CORRIDORS	EVERGREEN TREES MINIMUM HEIGHT AT PLANTING 6 FT	COMPLIES
§ 12-5.2.c(2) BUFFERS AND SCENIC CORRIDORS	SHRUBS AND HEDGES SHALL BE 3 FT IN HEIGHT AT PLANTING AND BLOCK THE GLARE OF AUTOMOBILE HEADLIGHTS	COMPLIES
§ 12-5.2.c(3) BUFFERS AND SCENIC CORRIDORS	DECIDUOUS TREES SHALL BE AT LEAST 2.5" IN CALIBER	COMPLIES
§ 12-5.7.a(3) LANDSCAPING AND STREET TREES	STREET TREES MINIMUM 40 FT ON CENTER, MAY BE PLANTED IN AN INFORMAL ARRANGEMENT [US ROUTE 206: 318 LF /40 = 8 TREES REQUIRED]	8 TREES PROPOSED
§ 12-5.7.a(4) LANDSCAPING AND STREET TREES	STREET TREES SHALL BE PLANTED BETWEEN THE CURB AND THE SIDEWALK. THE PLANTING BED SHALL BE AT LEAST 8 FEET IN WIDTH, IF NOT A POLYURETHANE ROOT BARRIER SHALL BE INSTALLED.	NO SIDEWALK PROPOSED
§ 12-5.7.b(1) LANDSCAPING AND STREET TREES	NATIVE PLANT MATERIAL IS UTILIZED	COMPLIES
§ 12-5.10.e OFF-STREET PARKING AND LOADING	PARKING AREAS FOR SIX OR MORE VEHICLES AND LOADING AREAS FOR NONRESIDENTIAL USES SHALL BE BUFFERED FROM ADJOINING STREETS AND RESIDENTIAL USES AND SHALL MEET THE STANDARDS OF SUBSECTION 12-5.2.	DOES NOT COMPLY (V)
§ 12-5.10.f OFF-STREET PARKING AND LOADING	1 TREE FOR EVERY 10 PARKING SPACES [46 PARKING SPACES = 5 REQUIRED TREES]	5 TREES PROPOSED

(V) VARIANCE



ISSUE	DATE	BY	DESCRIPTION
1	08/14/2023	JMK	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
 1923 ROUTE 206  
 SOUTHAMPTON TOWNSHIP  
 BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.  
 NEW JERSEY LICENSE No. 55094  
 LICENSED PROFESSIONAL ENGINEER

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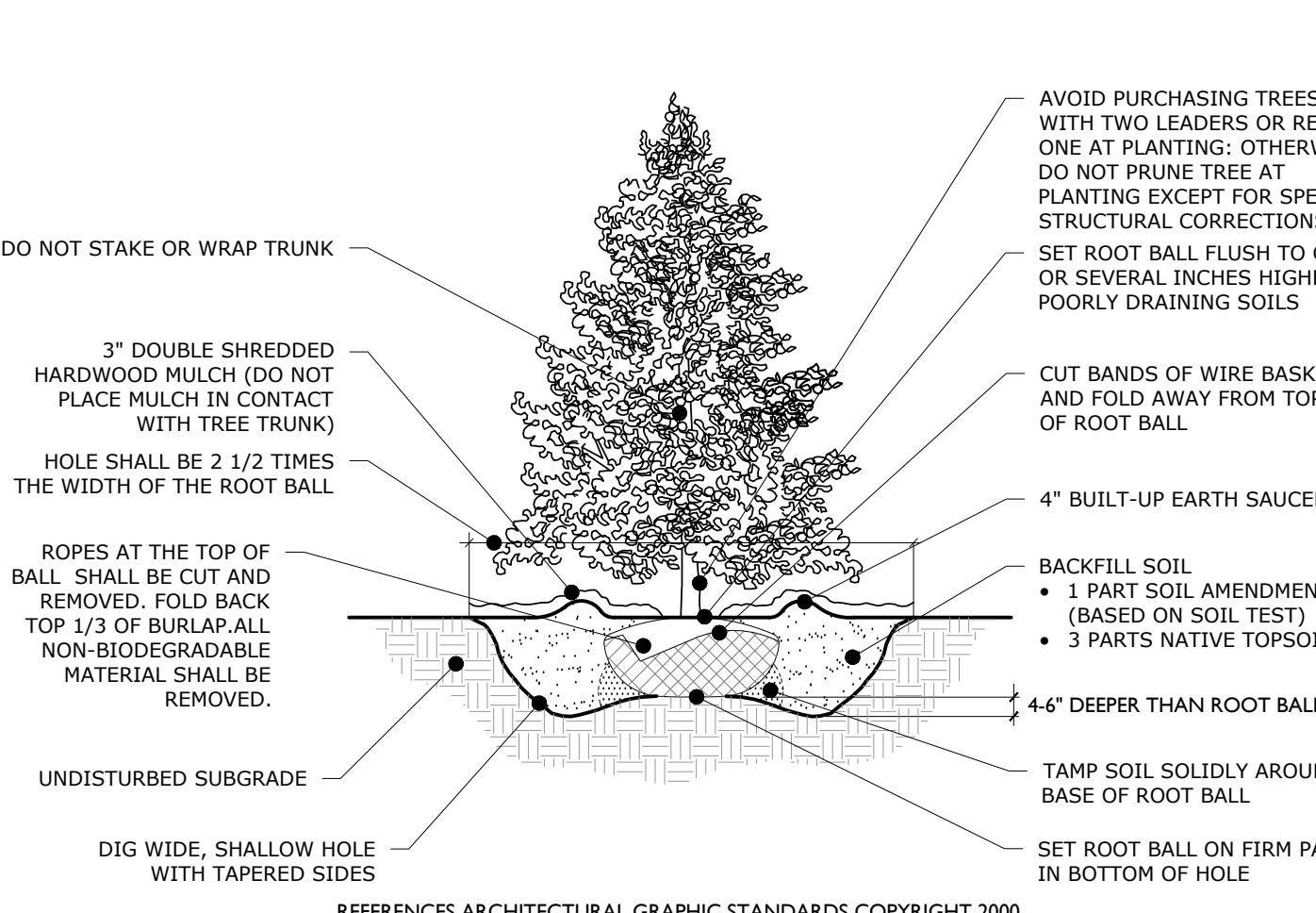
SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:  
**LANDSCAPING PLAN**

DRAWING:  
**C-II**

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...

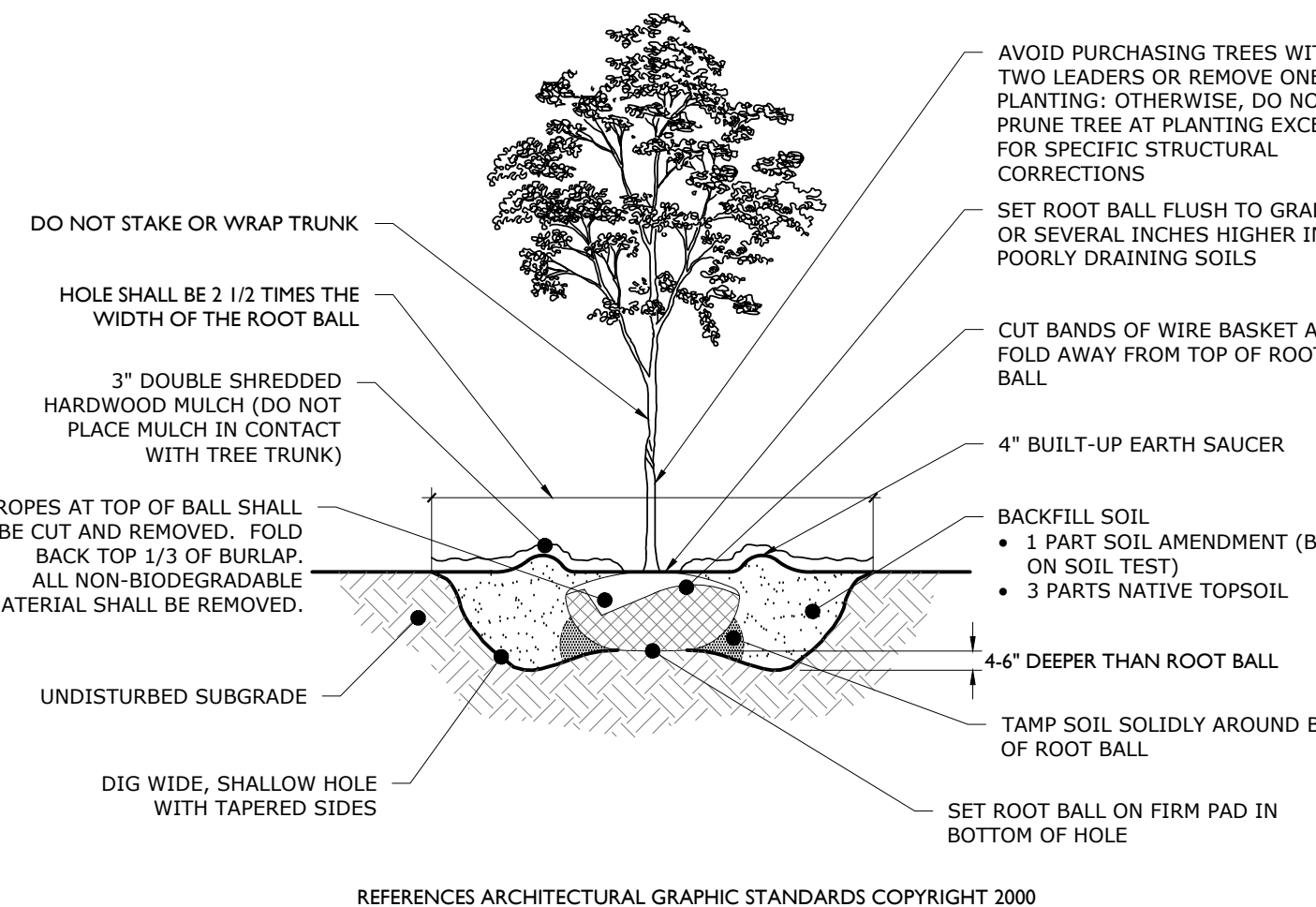


EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

2

GENERAL LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS...

PROTECTION OF EXISTING VEGETATION NOTES:

- 1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED...

SOIL PREPARATION AND MULCH NOTES:

- 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING...

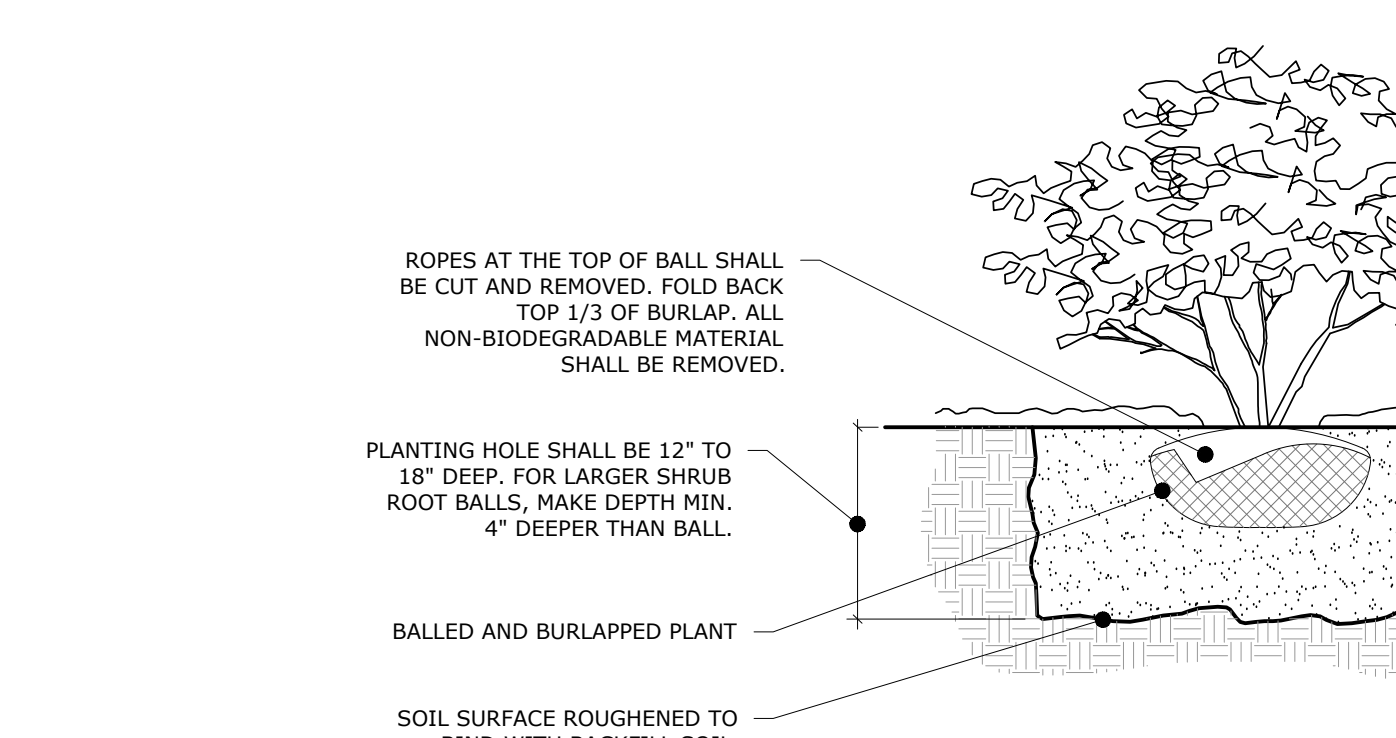
PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION...

Table listing plant species and varieties such as ABIES CONCOLOR, ACER BUEBERIANUM, and OSTRYA VIRGINIANA.

NOTES:

- 1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



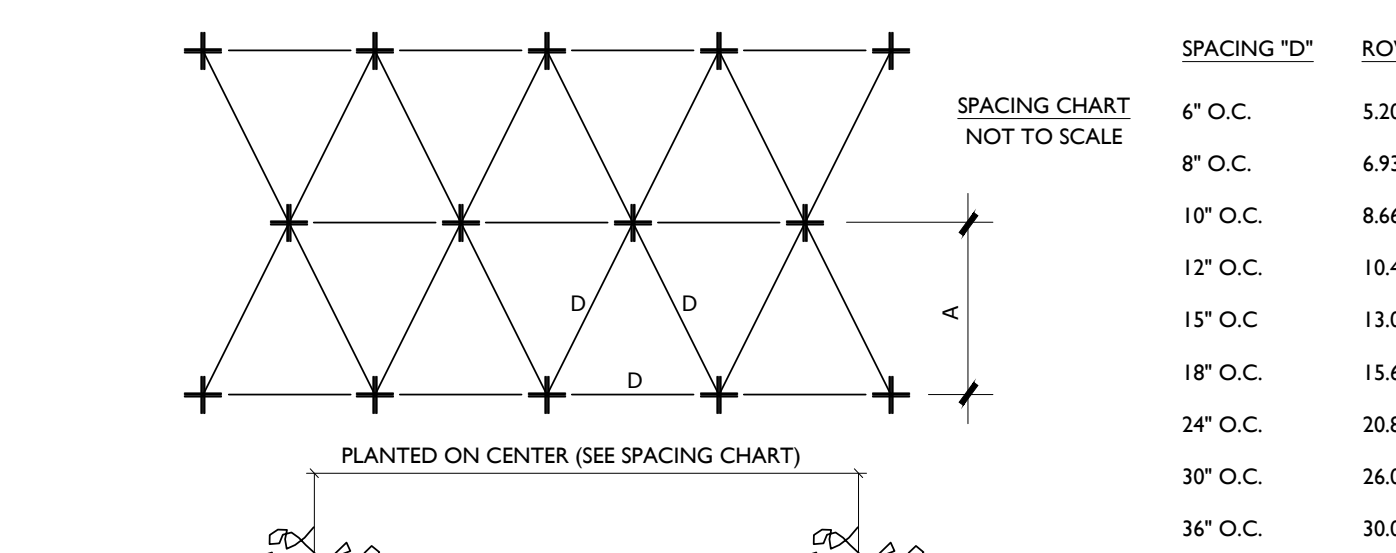
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

3

NOTES:

- 1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING...



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

4

Table for submission tracking with columns for DATE, ISSUE, and BY.

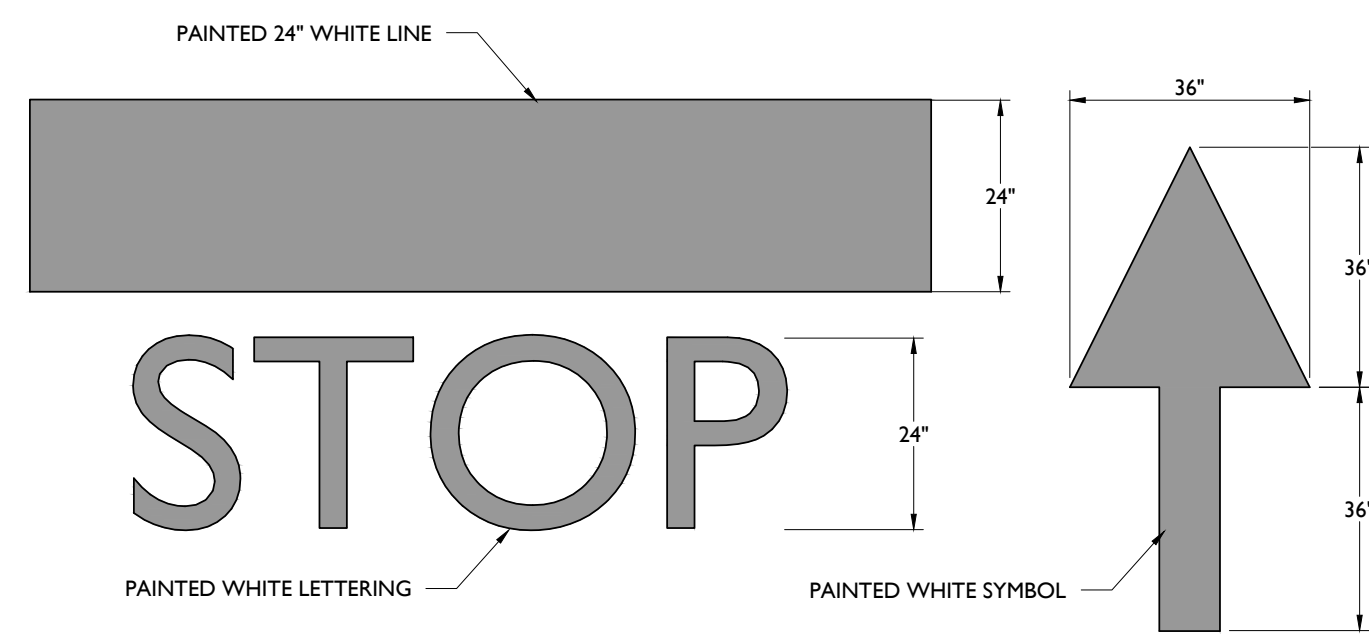
NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design logo and contact information for Rutherford, NJ and Princeton, NJ.

DOLLAR GENERAL logo and address information for PROPOSED DOLLAR GENERAL.

PAUL D. MUTCH Jr., P.E. NEW JERSEY LICENSE No. 55094 LICENSED PROFESSIONAL ENGINEER

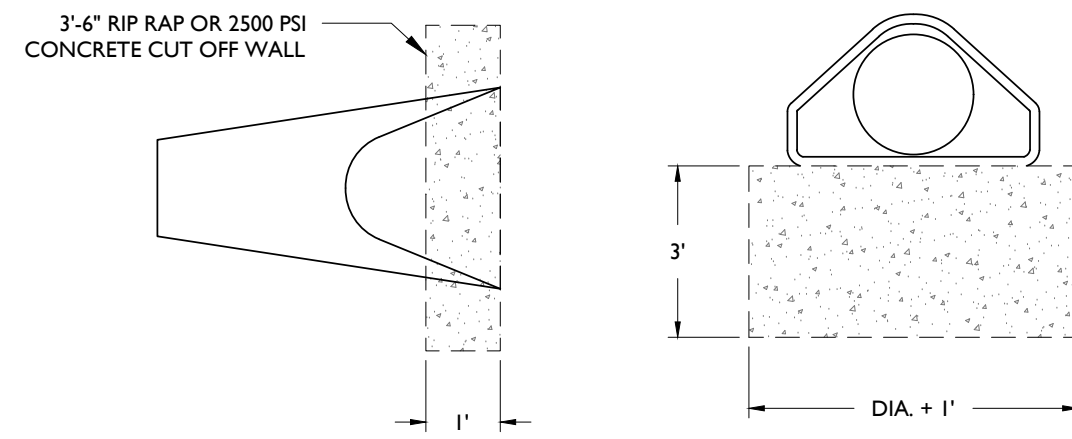
STONEFIELD engineering & design logo, SCALE: AS SHOWN PROJECT ID: Z-19159, TITLE: LANDSCAPING DETAILS, DRAWING: C-12



**STOP BAR & ARROW DETAILS**

NOT TO SCALE

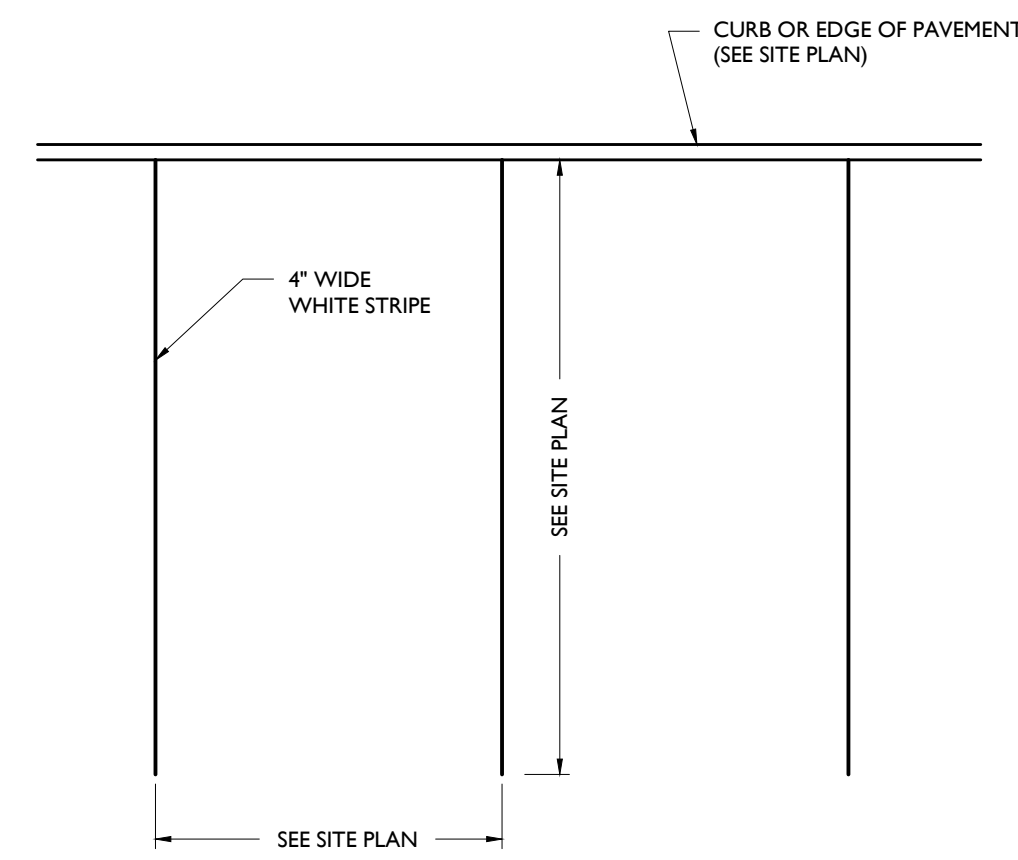
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**FLARED END SECTION DETAIL**

NOT TO SCALE

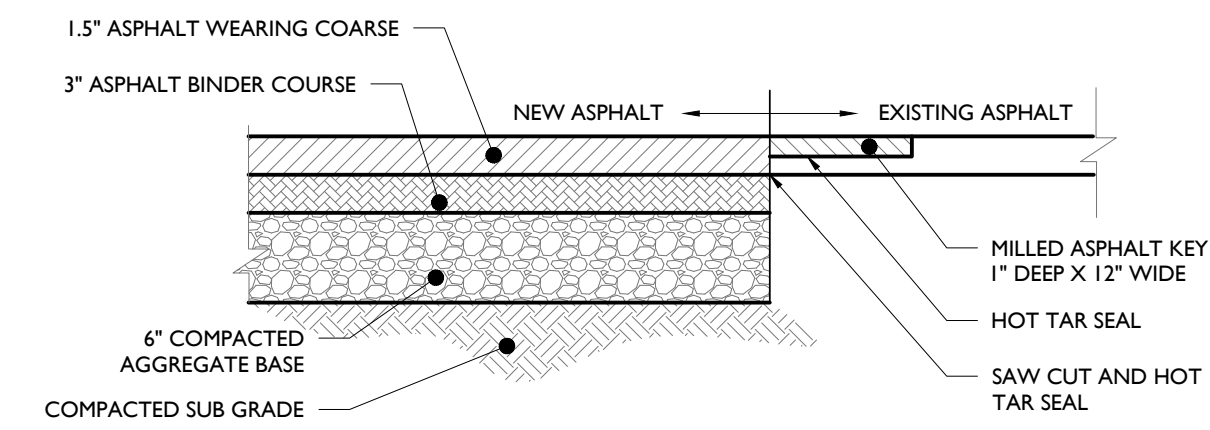
2



**PARKING STALL MARKINGS**

NOT TO SCALE

3

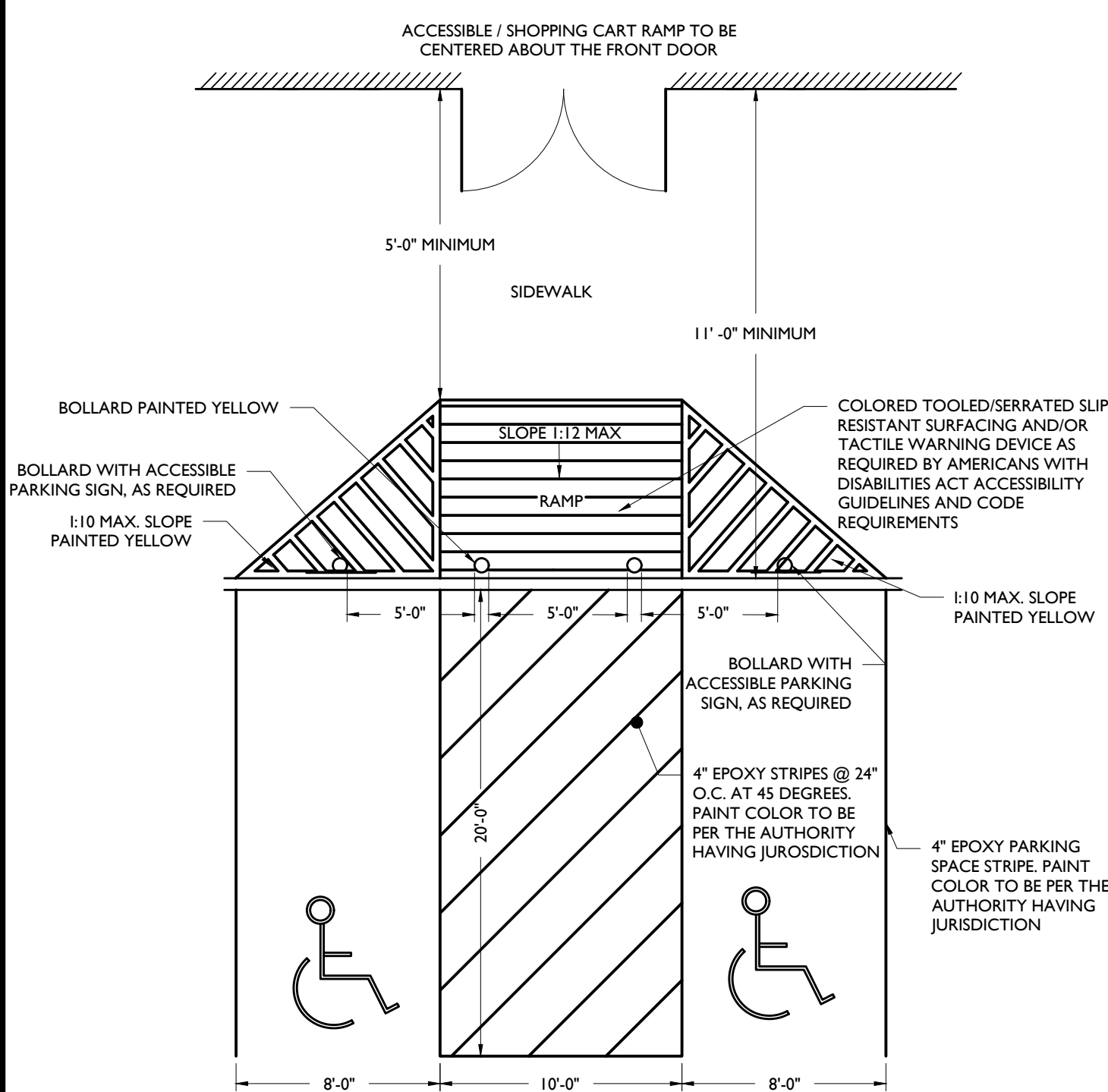


**HEAVY DUTY ASPHALT PAVEMENT DETAIL**

NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

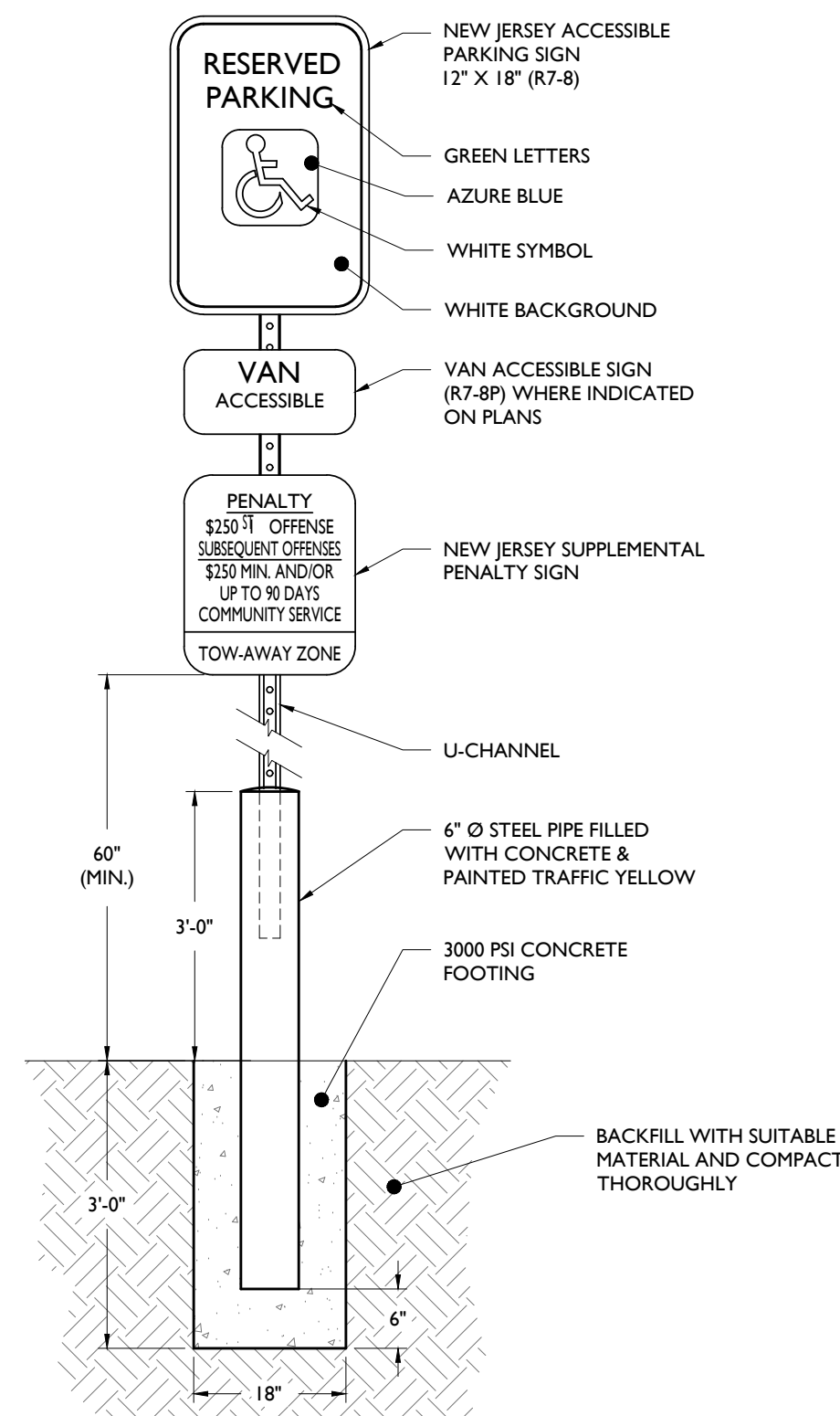
4



**ACCESSIBLE PARKING STALL MARKINGS**

NOT TO SCALE

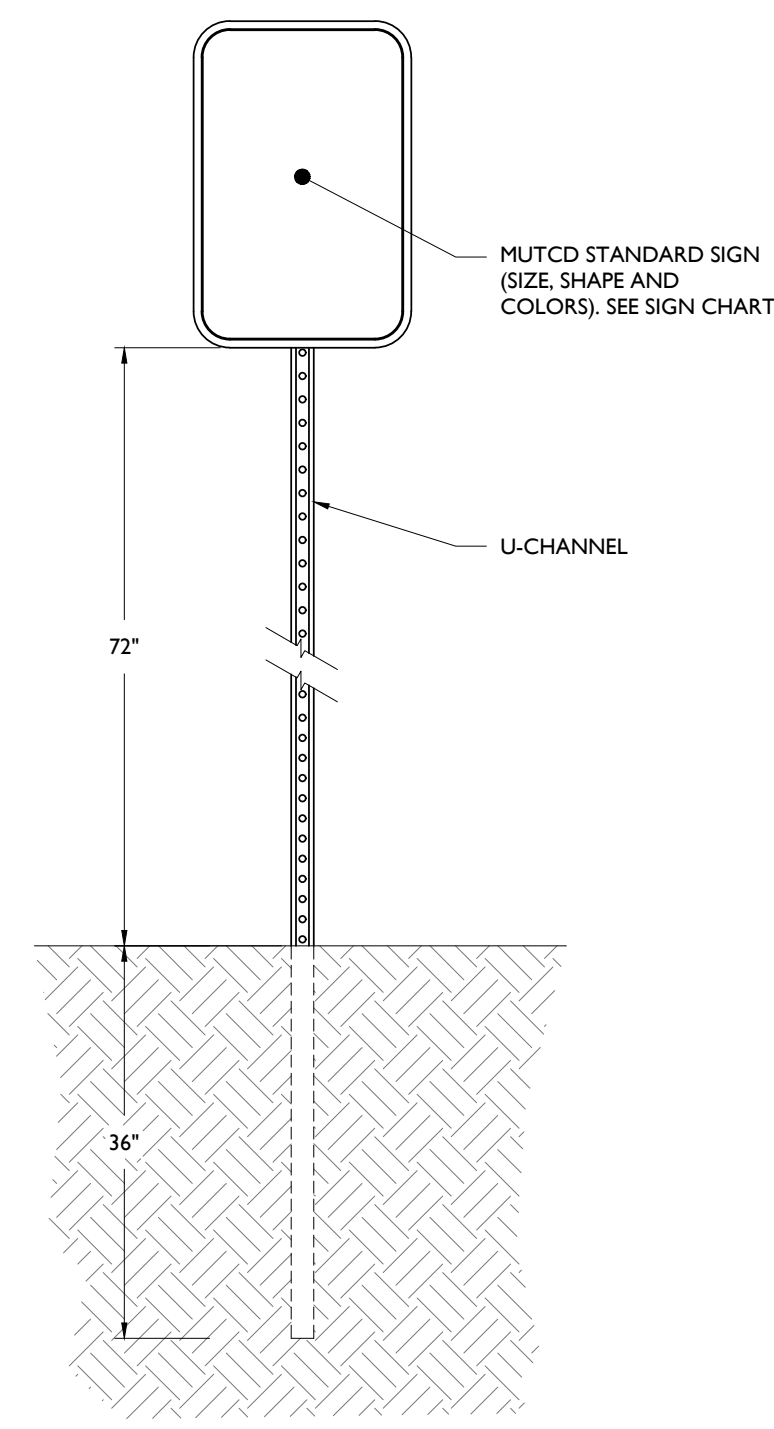
5



**ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL**

NOT TO SCALE

6



**SIGN POST DETAIL**

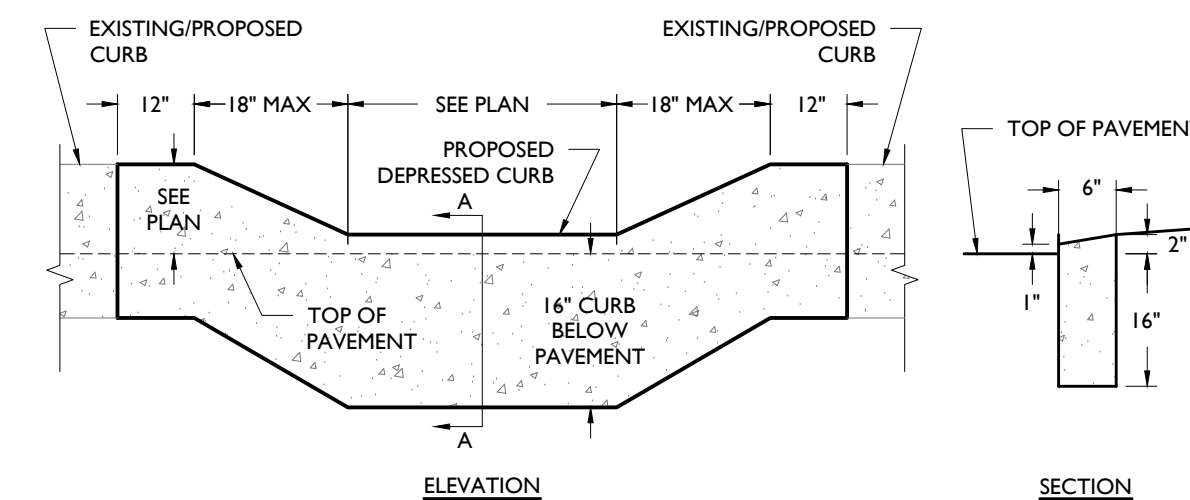
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

**SIGN DATA TABLE**

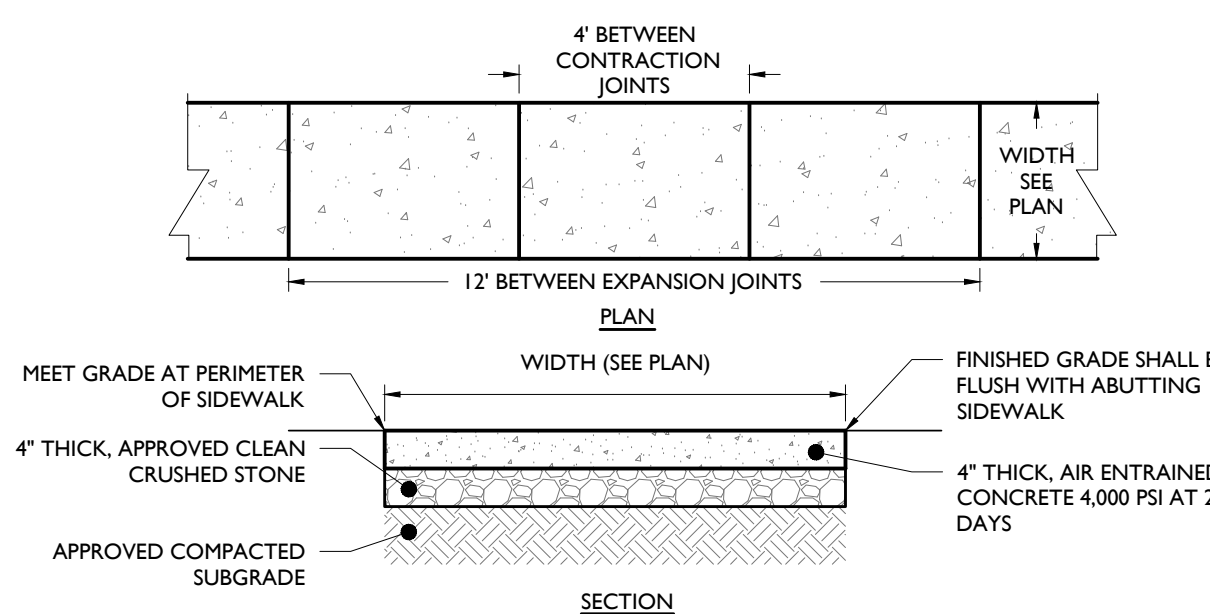
7



**DEPRESSED CURB DETAIL**

NOT TO SCALE

8

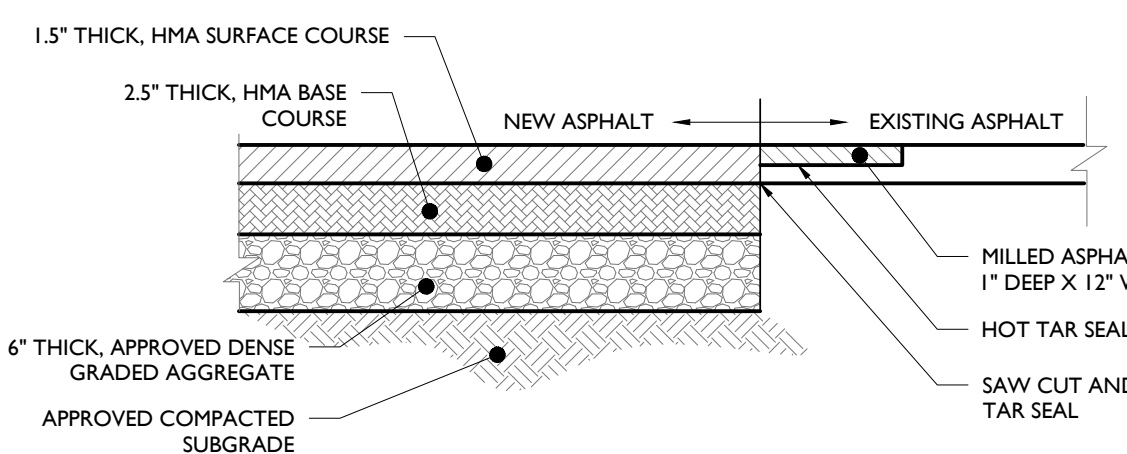


**CONCRETE WALKWAY DETAIL**

NOT TO SCALE

NOTES:  
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.  
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.  
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.  
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

9

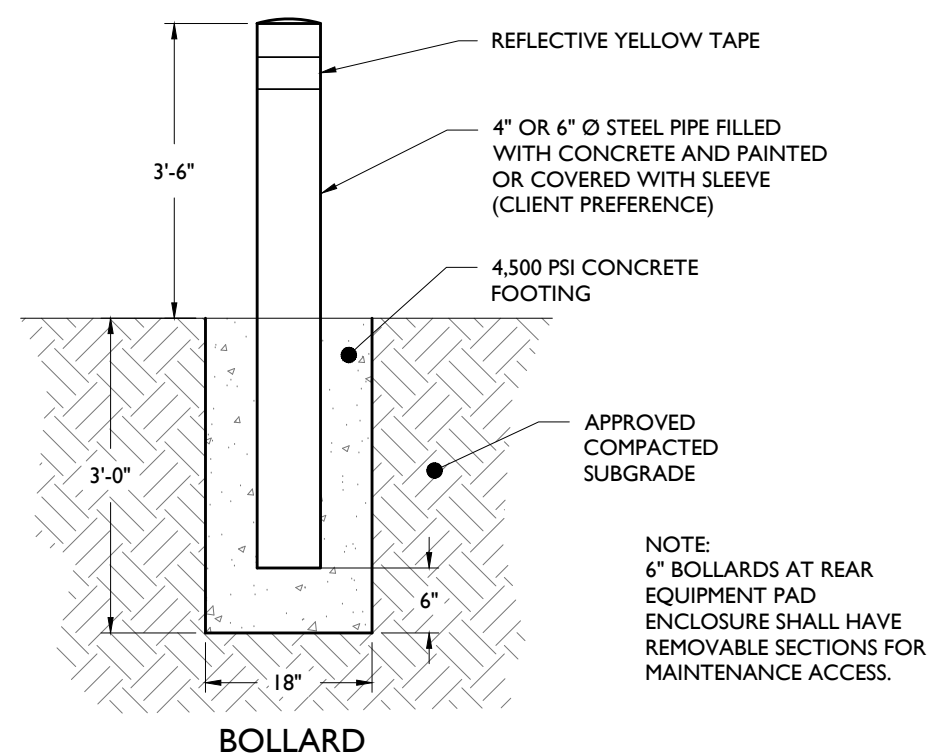


**LIGHT DUTY ASPHALT PAVEMENT DETAIL**

NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

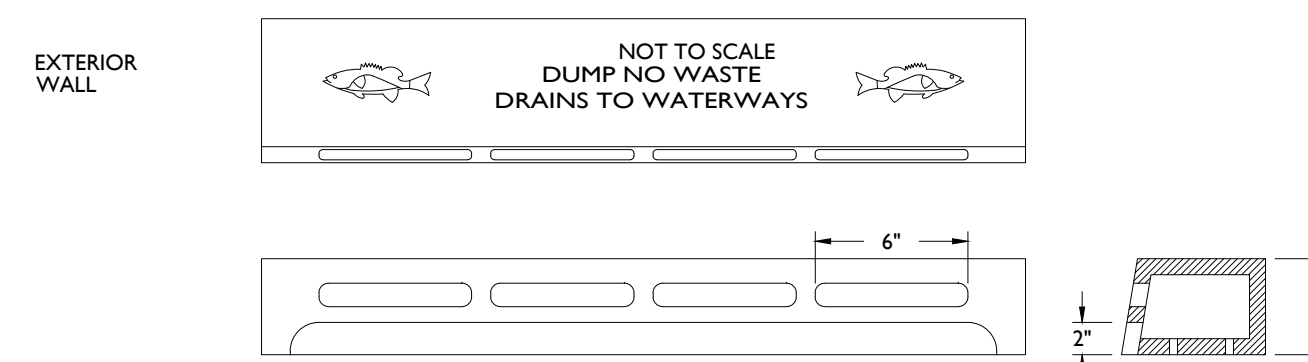
10



**BOLLARD**

NOTE:  
6" BOLLARDS AT REAR EQUIPMENT PAD ENCLOSURE SHALL HAVE REMOVABLE SECTIONS FOR MAINTENANCE ACCESS.

11

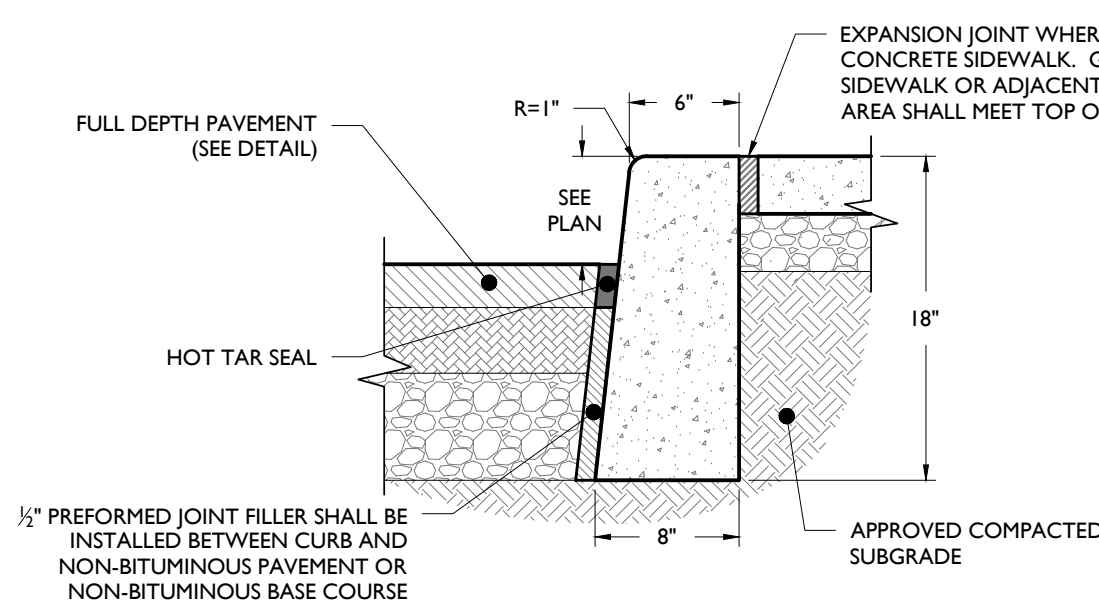


**NON-MOUNTABLE TYPE "N" ECO-CURB  
PHASE II STORM WATER COMPLIANT**

NOT TO SCALE

NOTE:  
1. MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL

12



**CONCRETE CURB DETAIL**

NOT TO SCALE

NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

13

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PLAN SET

**DOLLAR GENERAL**

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14  
1823 ROUTE 206  
SOUTHAMPTON TOWNSHIP  
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH JR., P.E.  
NEW JERSEY LICENSE NO. 55094  
LICENSED PROFESSIONAL ENGINEER

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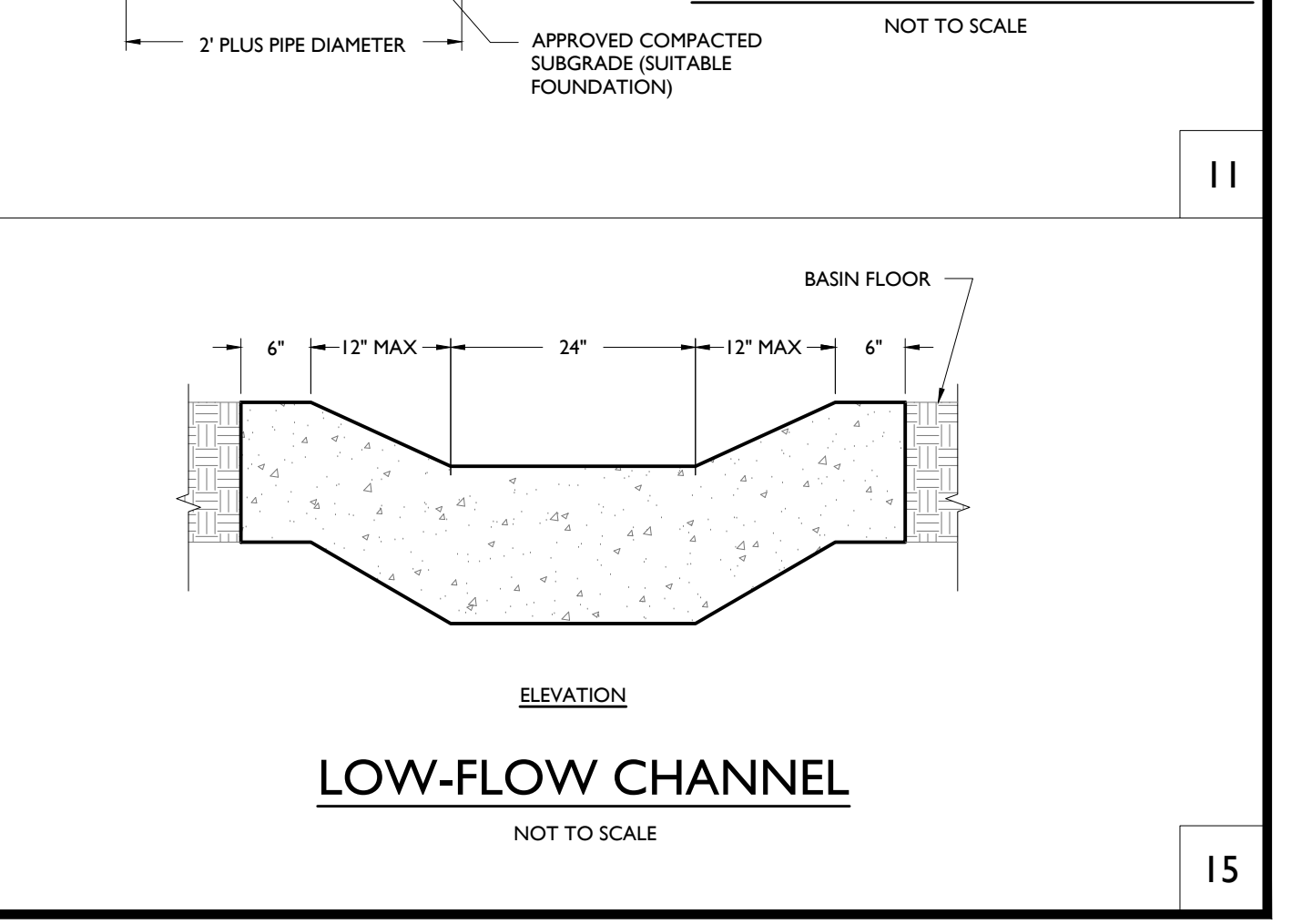
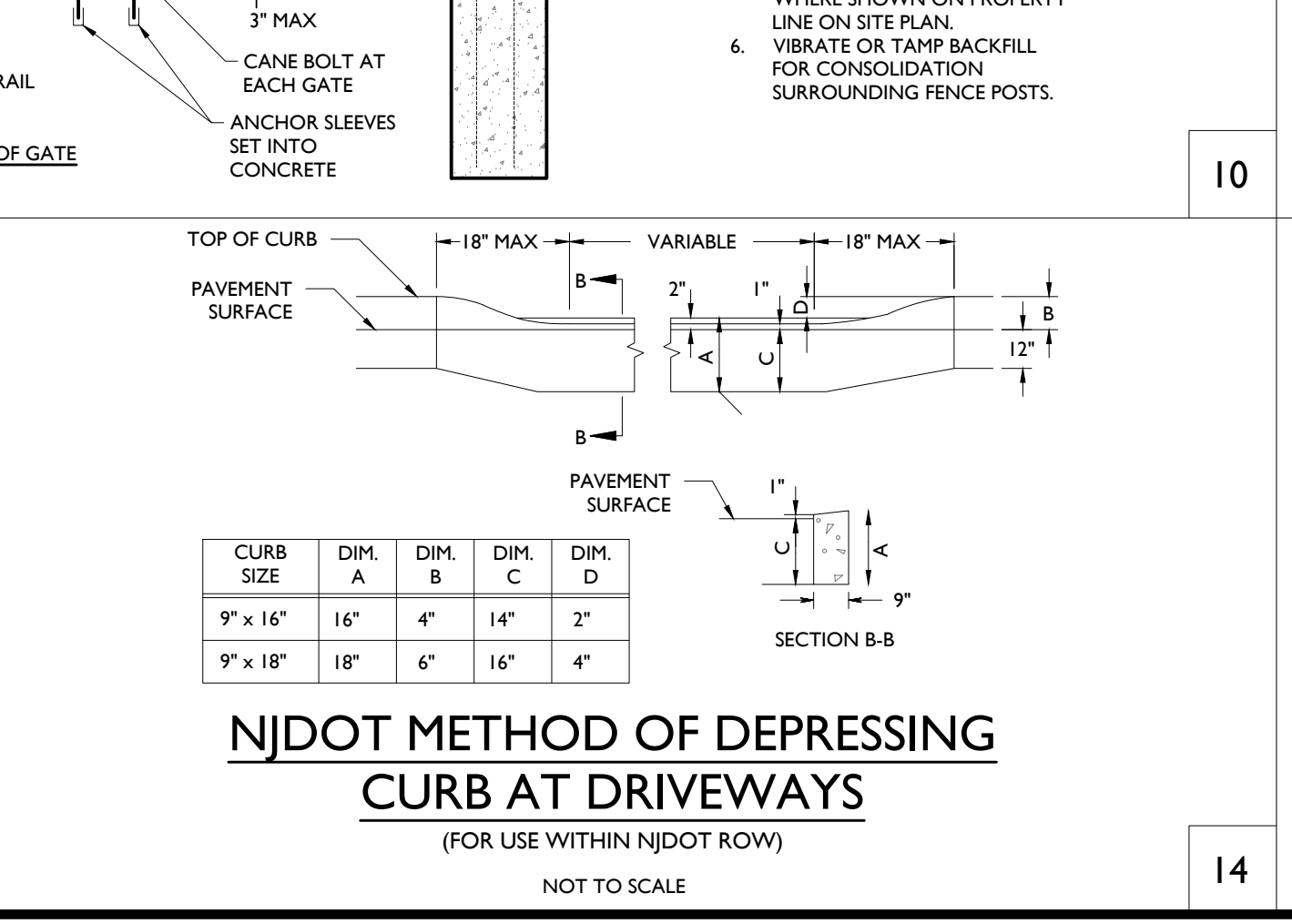
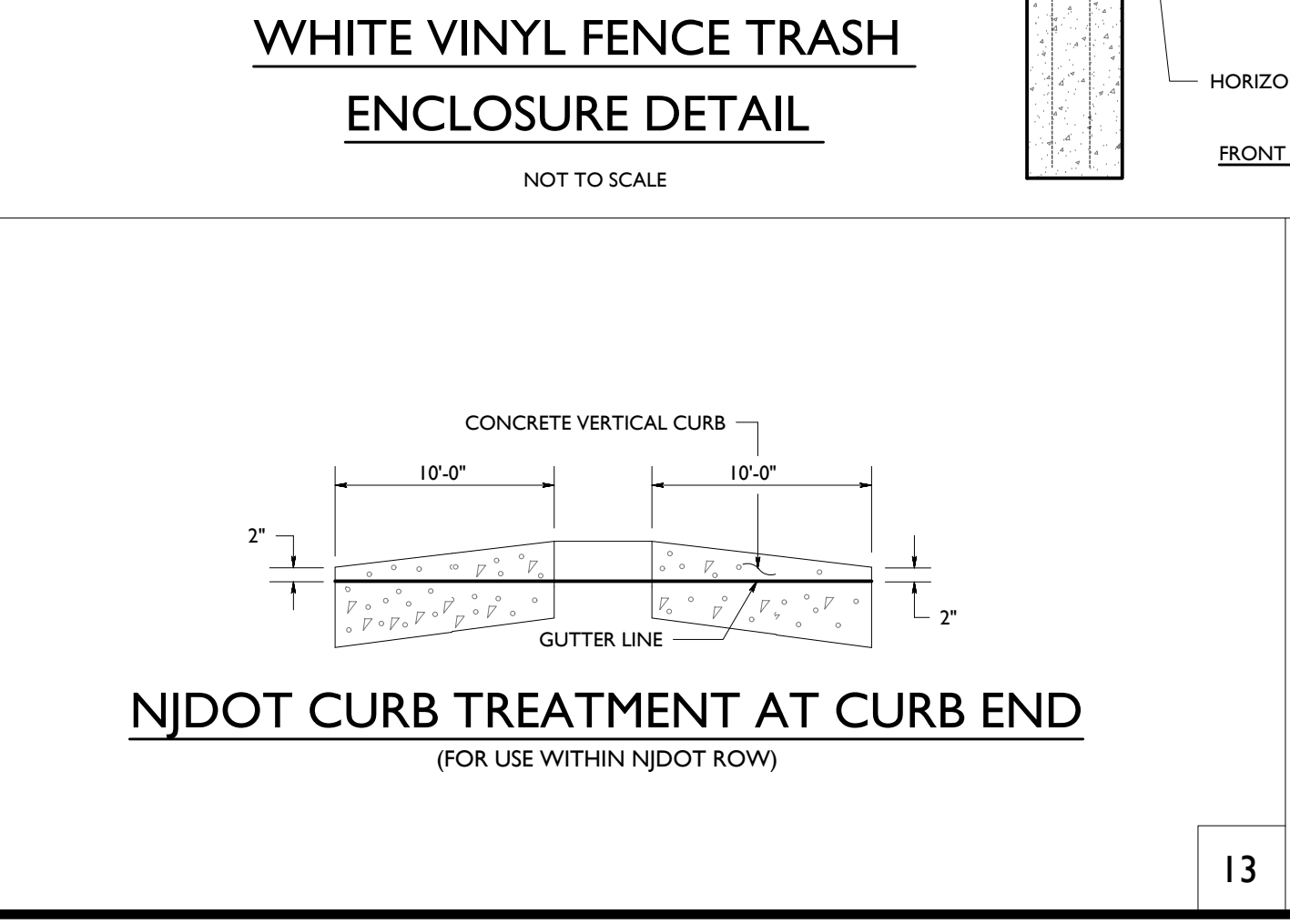
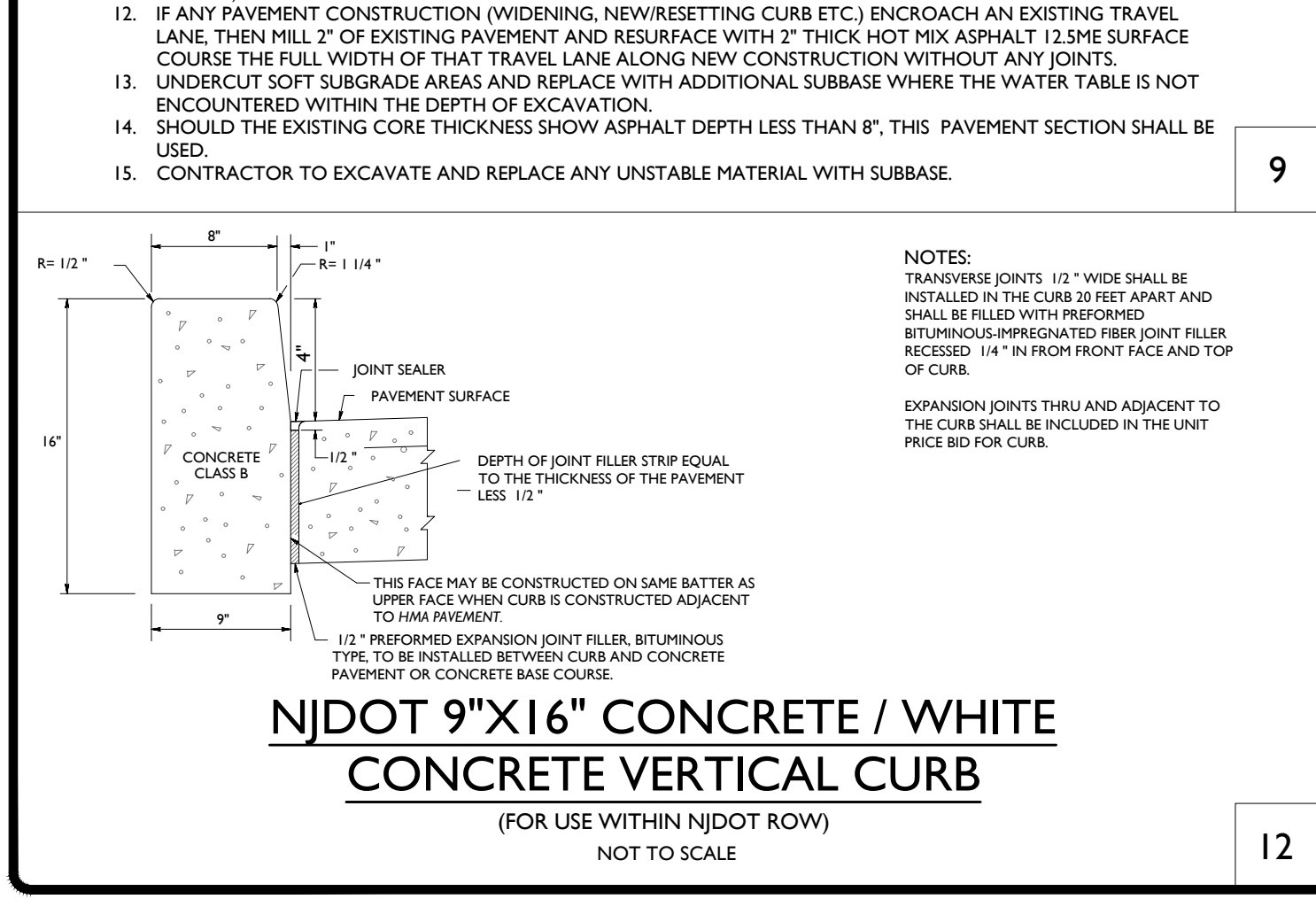
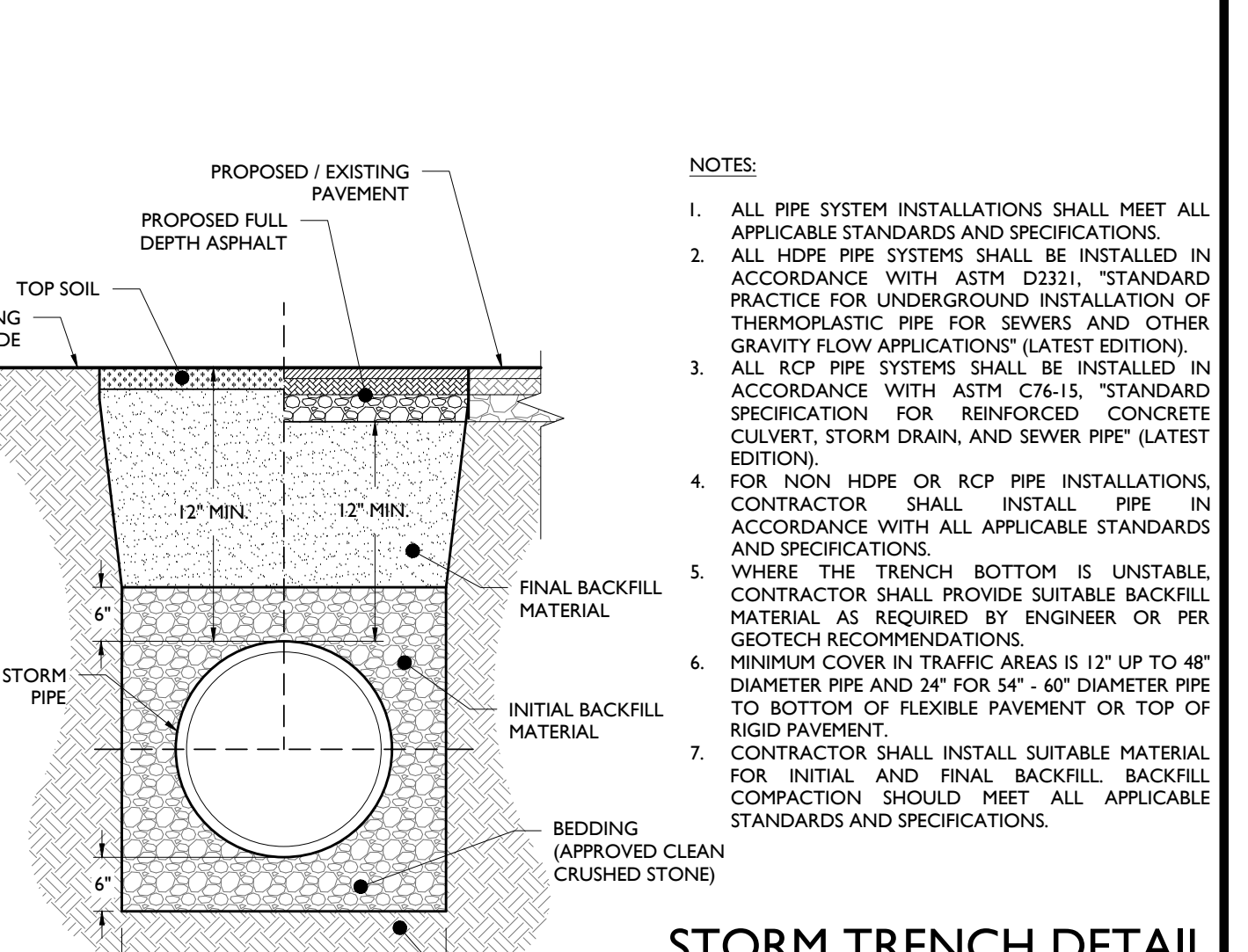
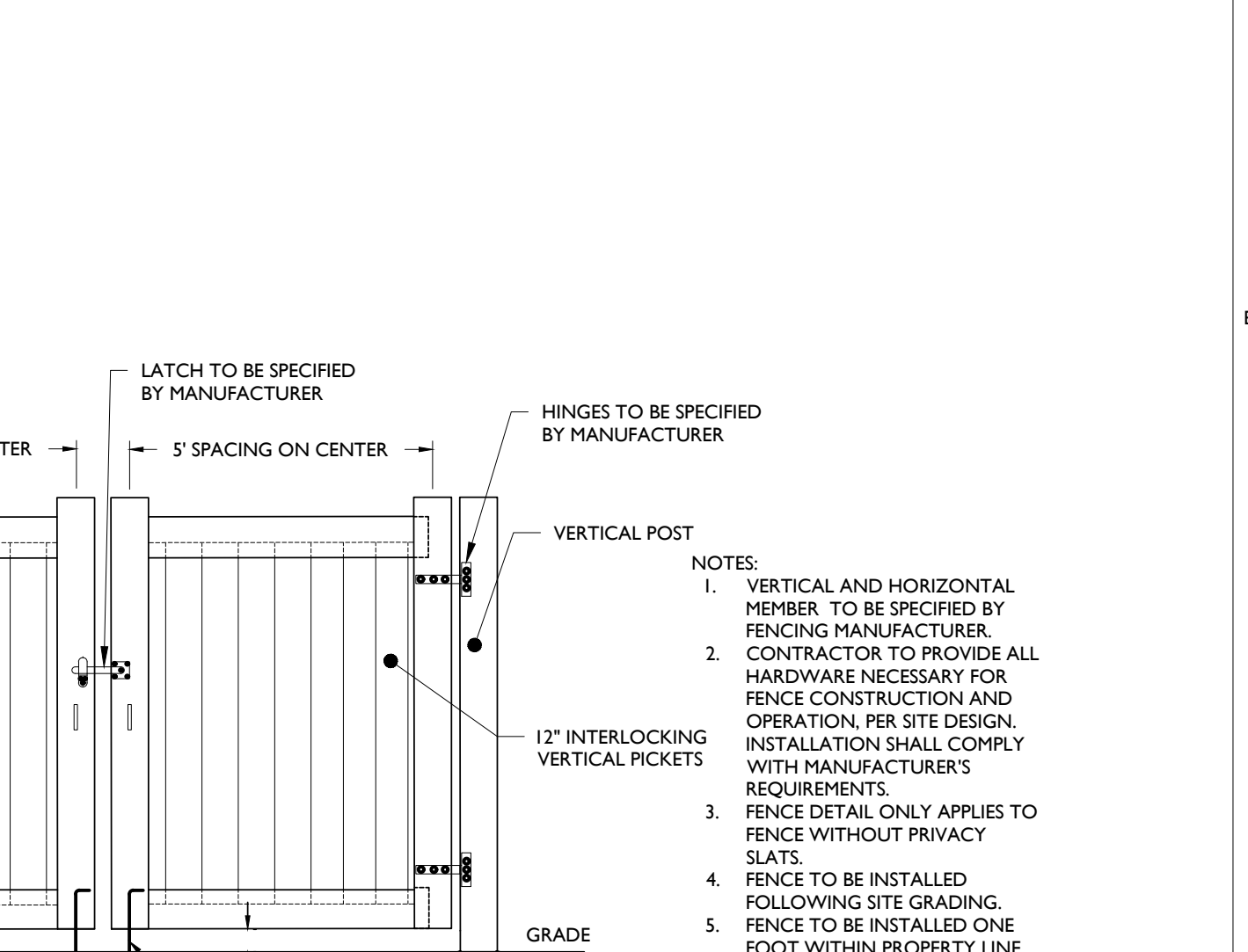
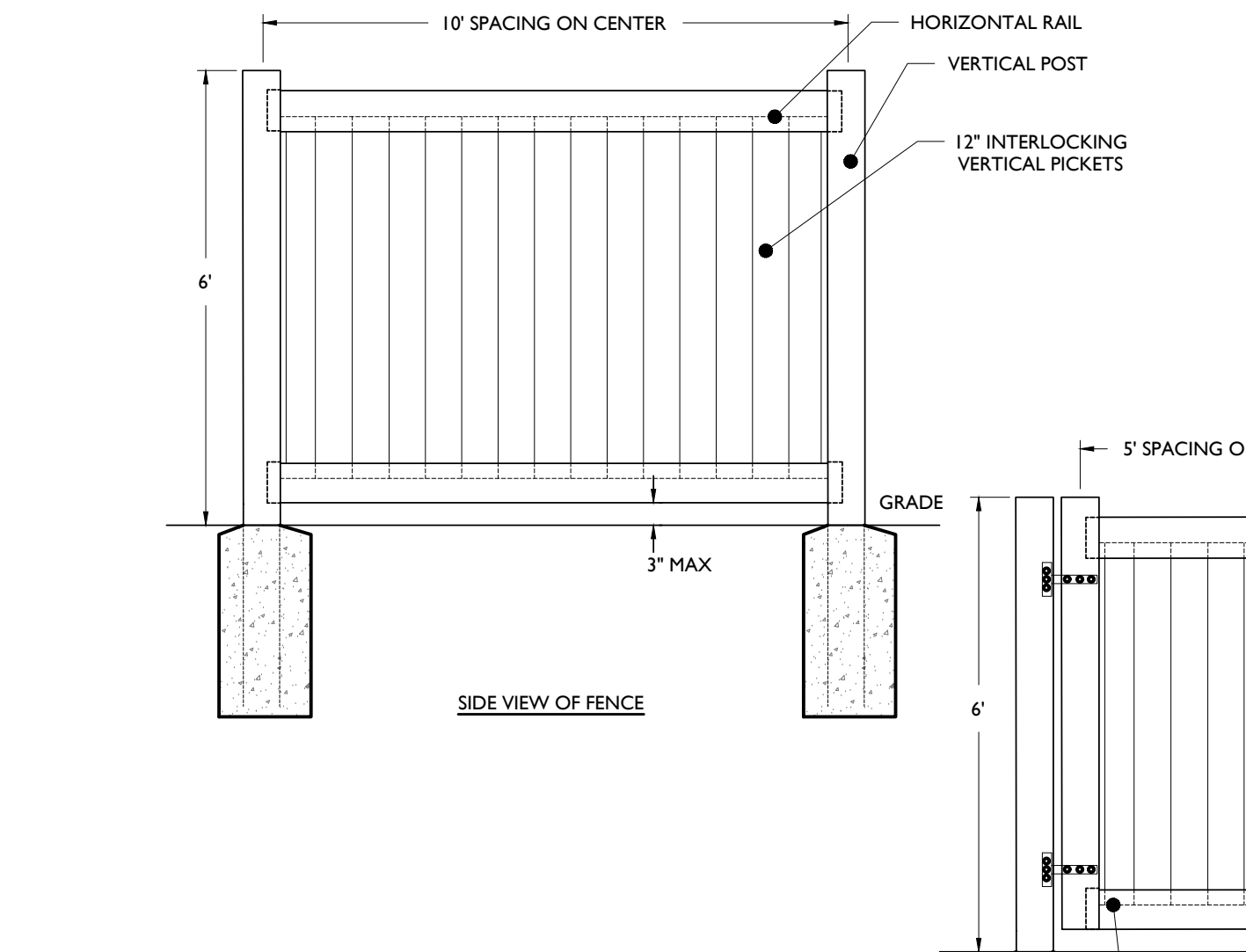
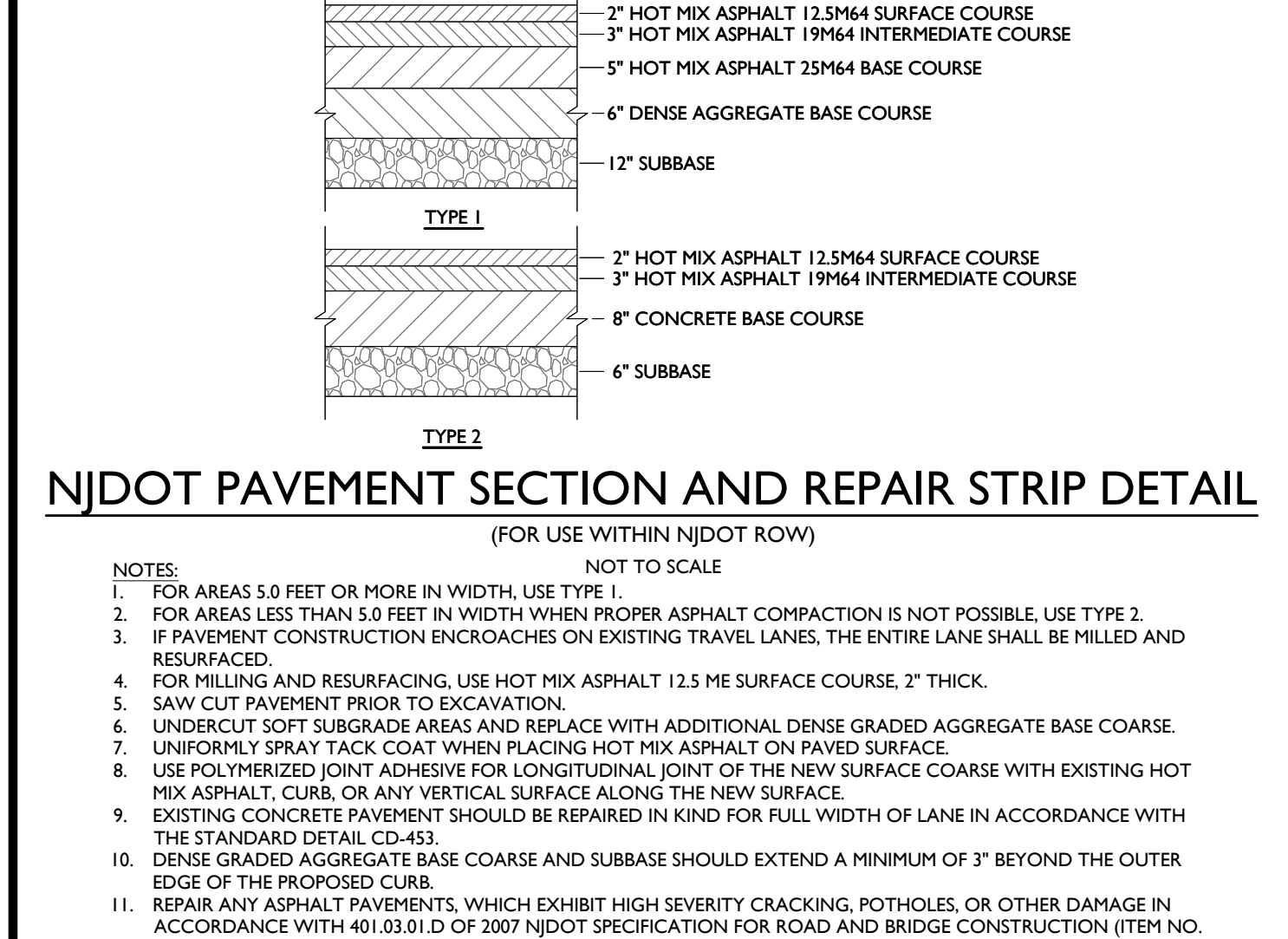
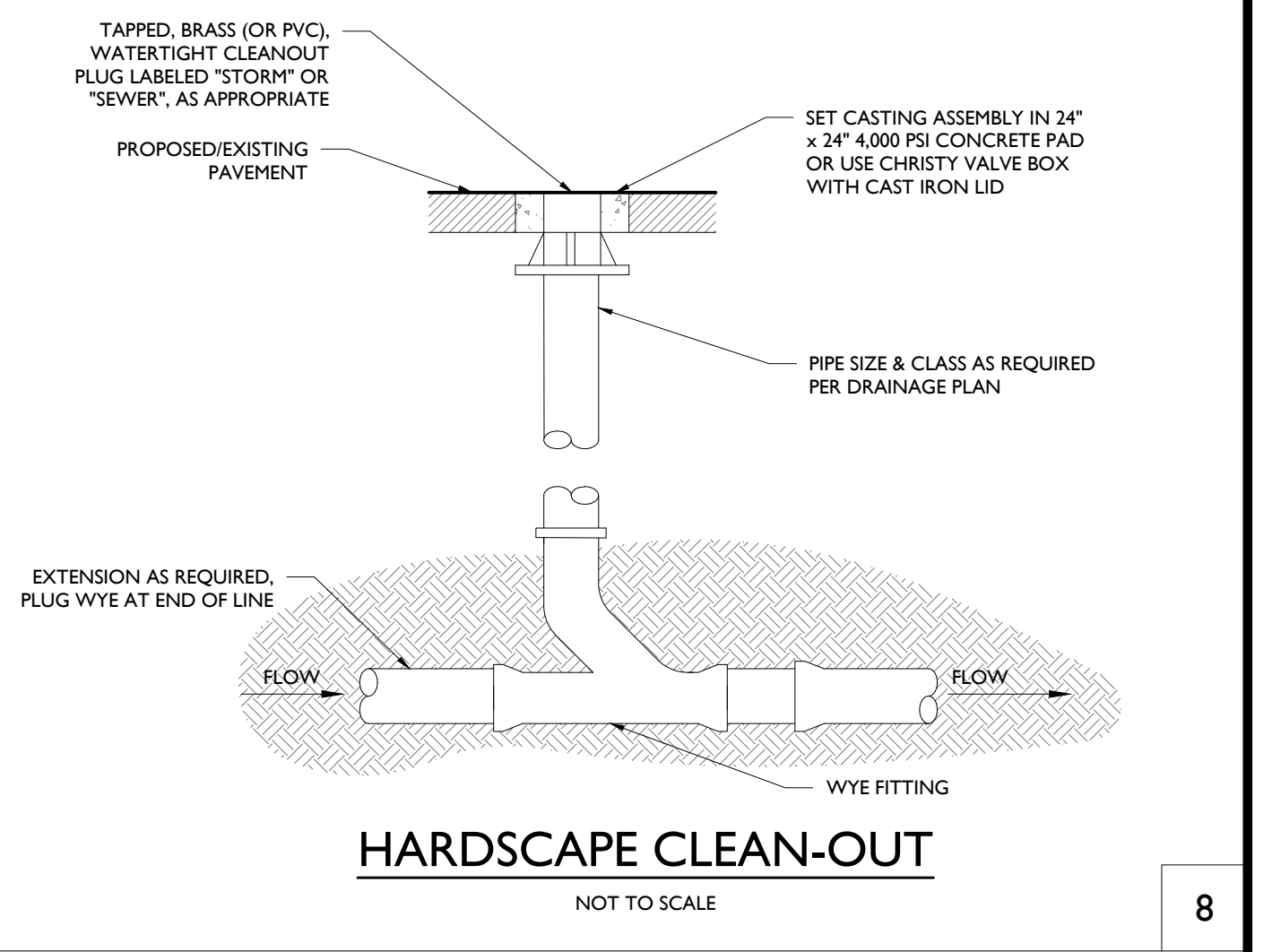
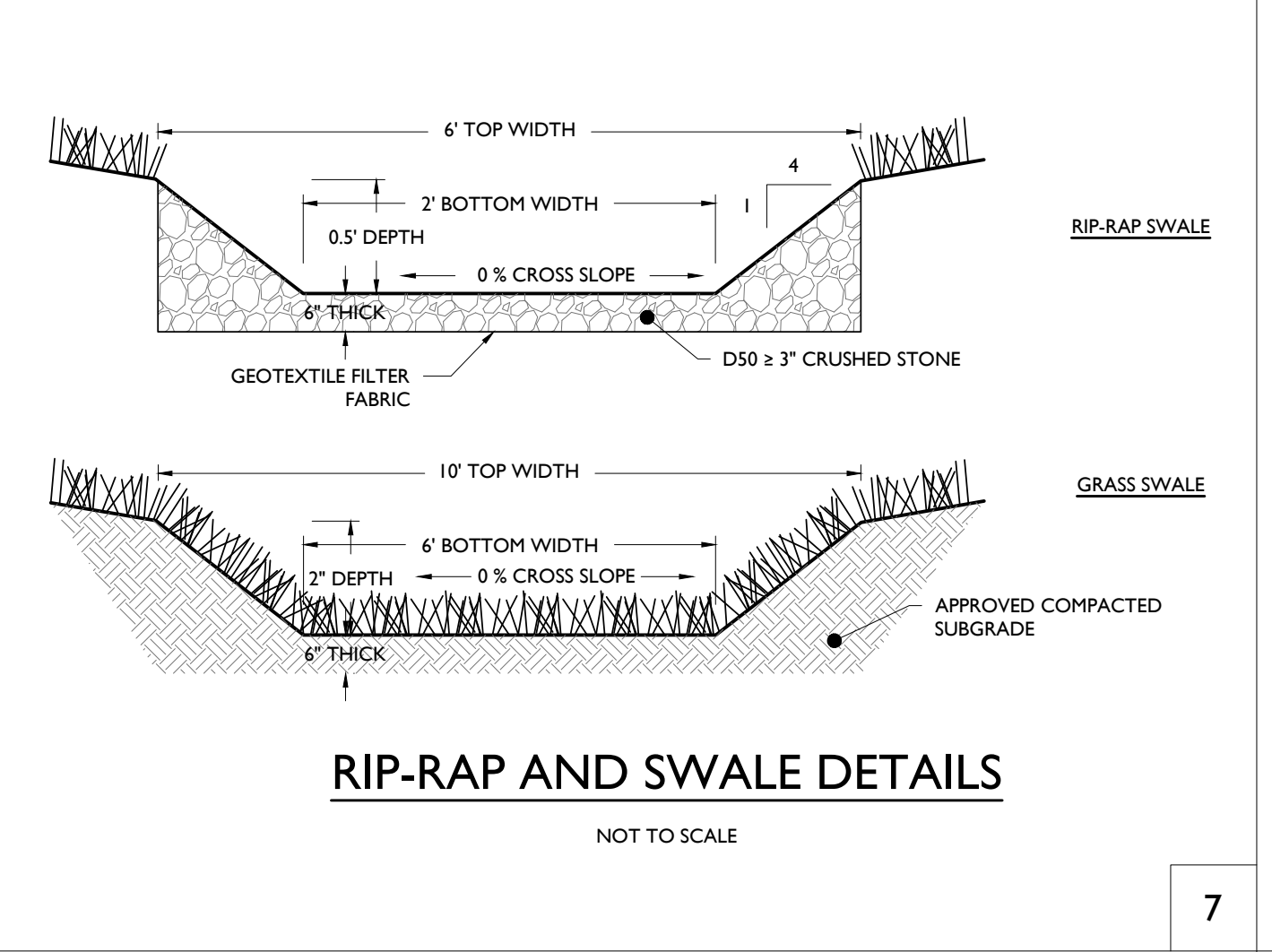
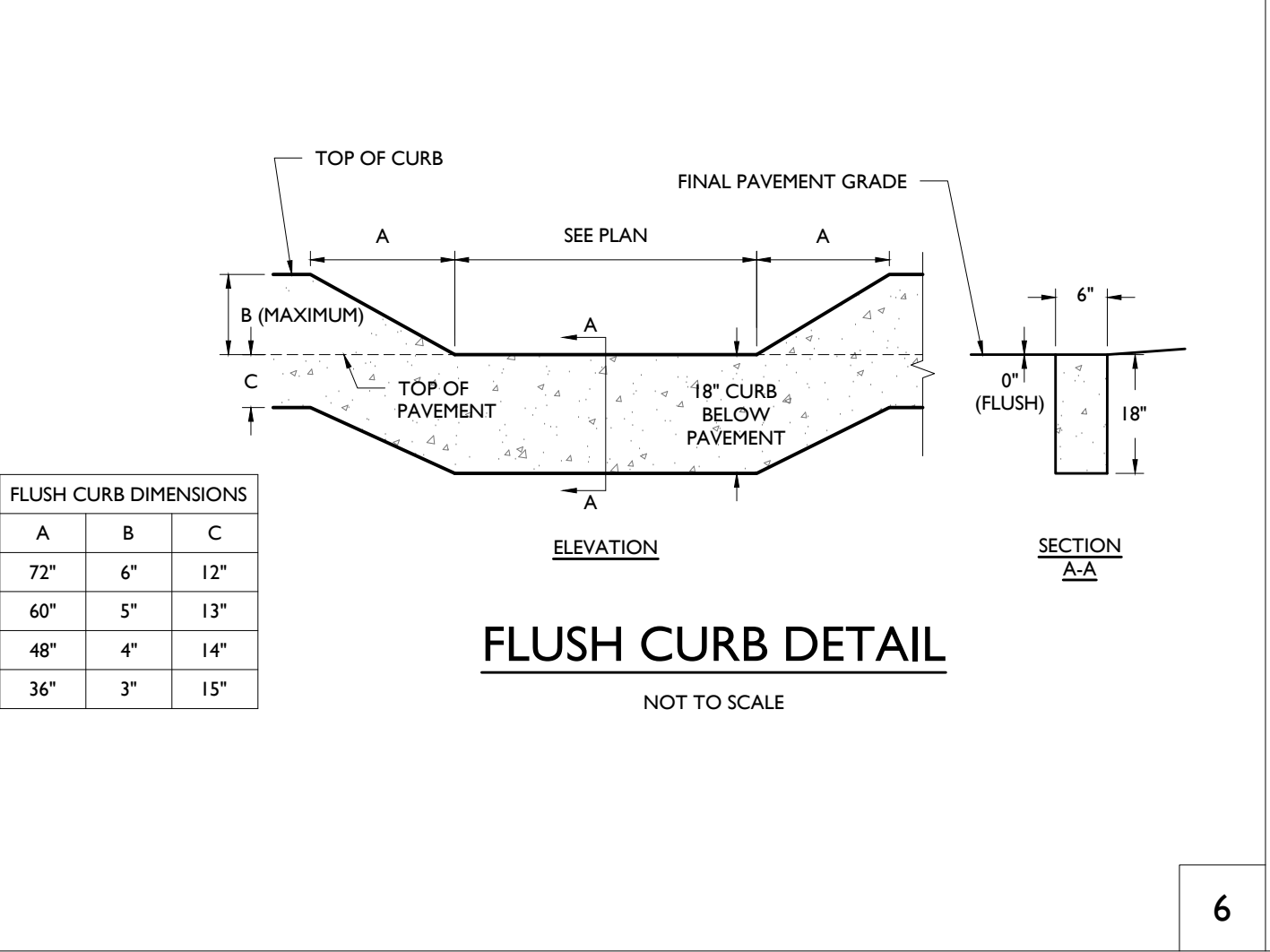
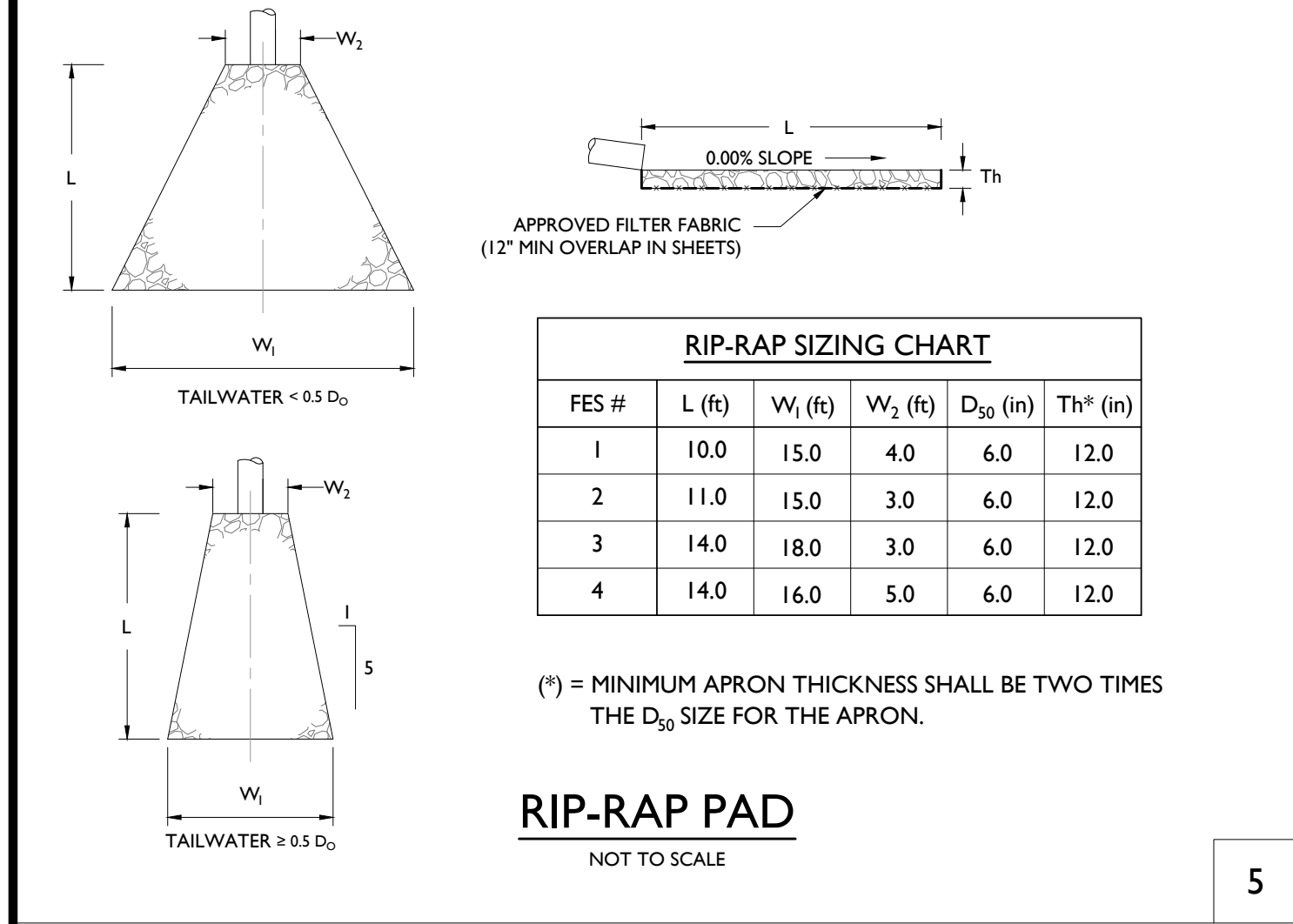
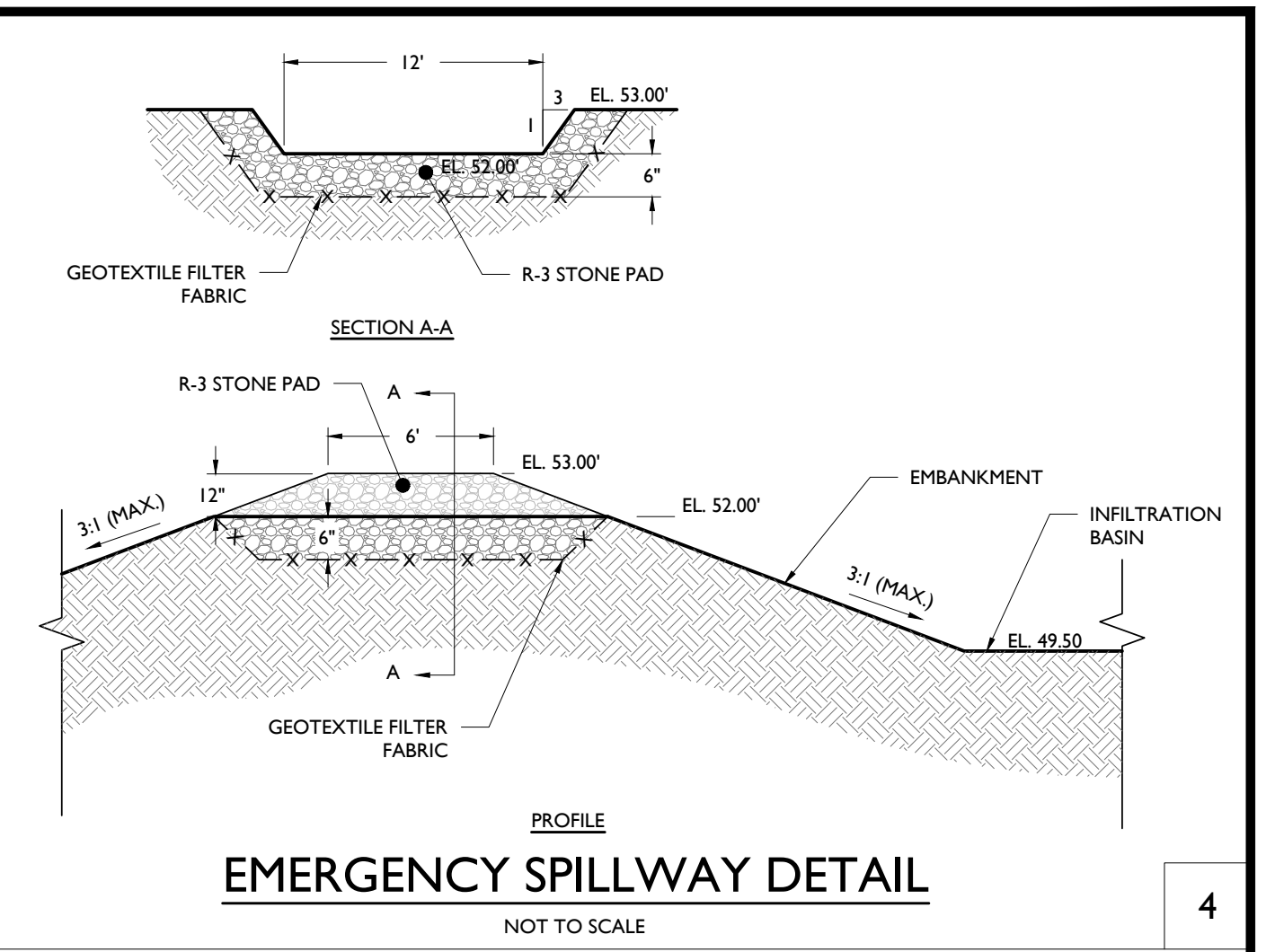
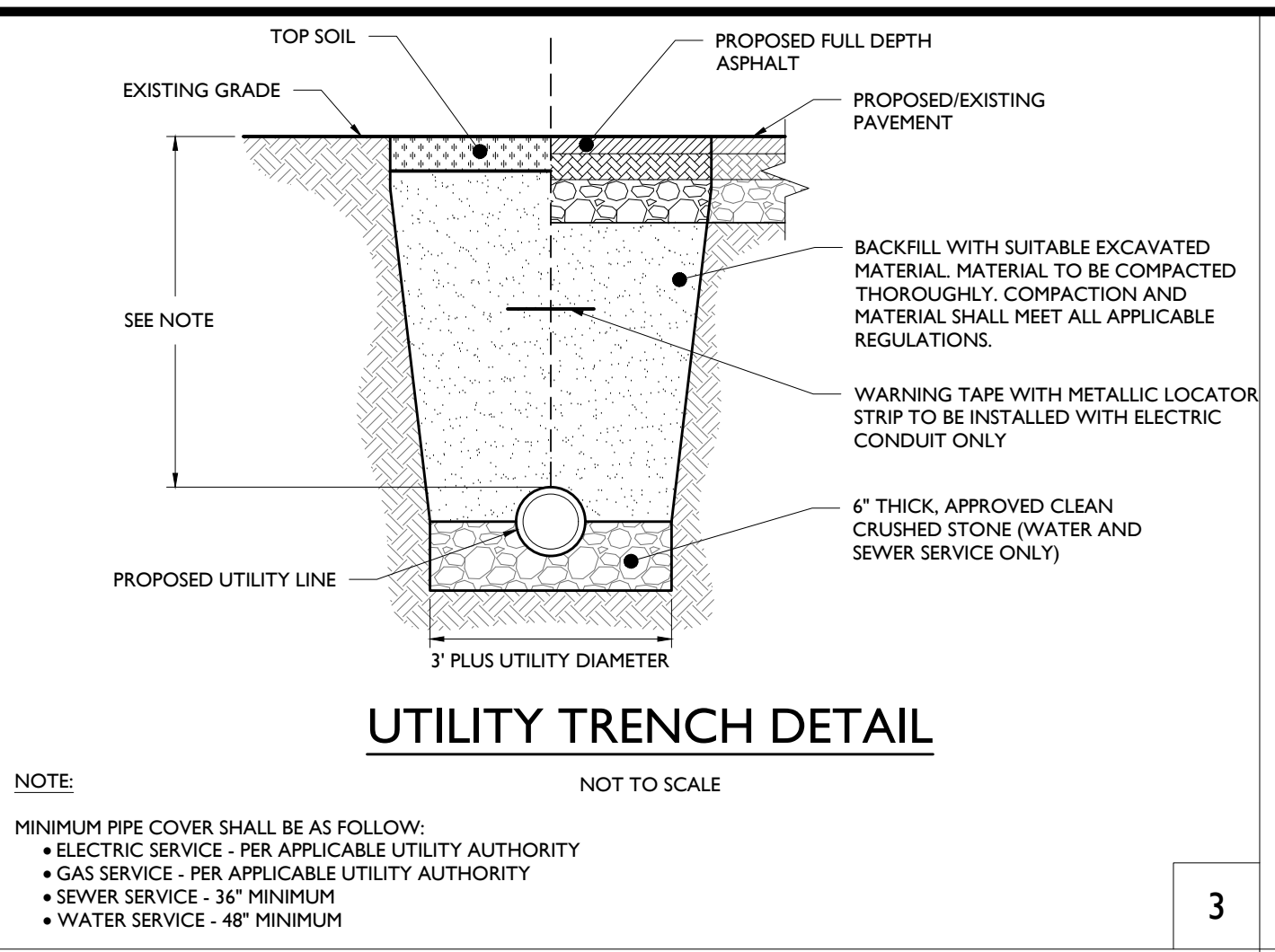
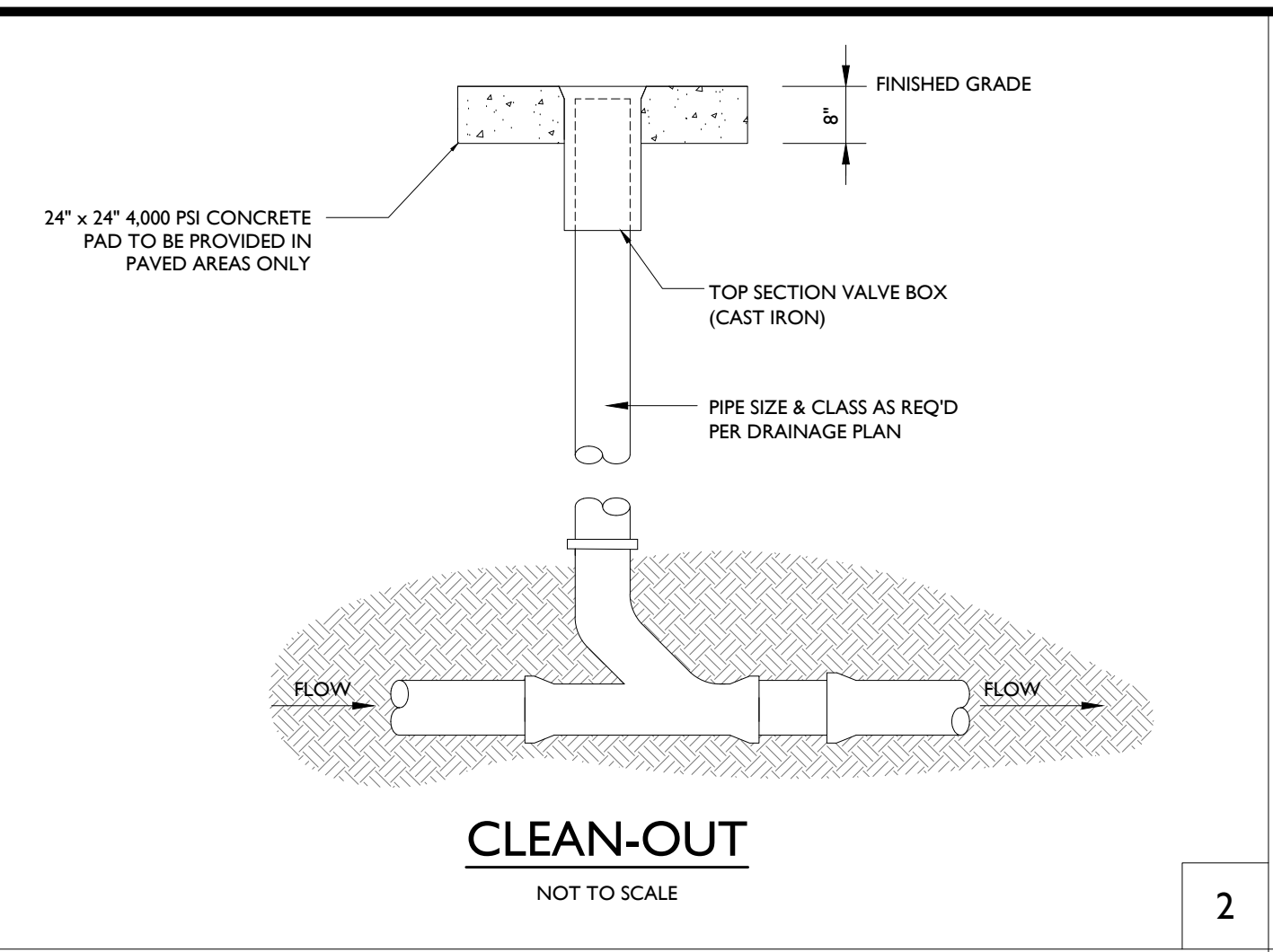
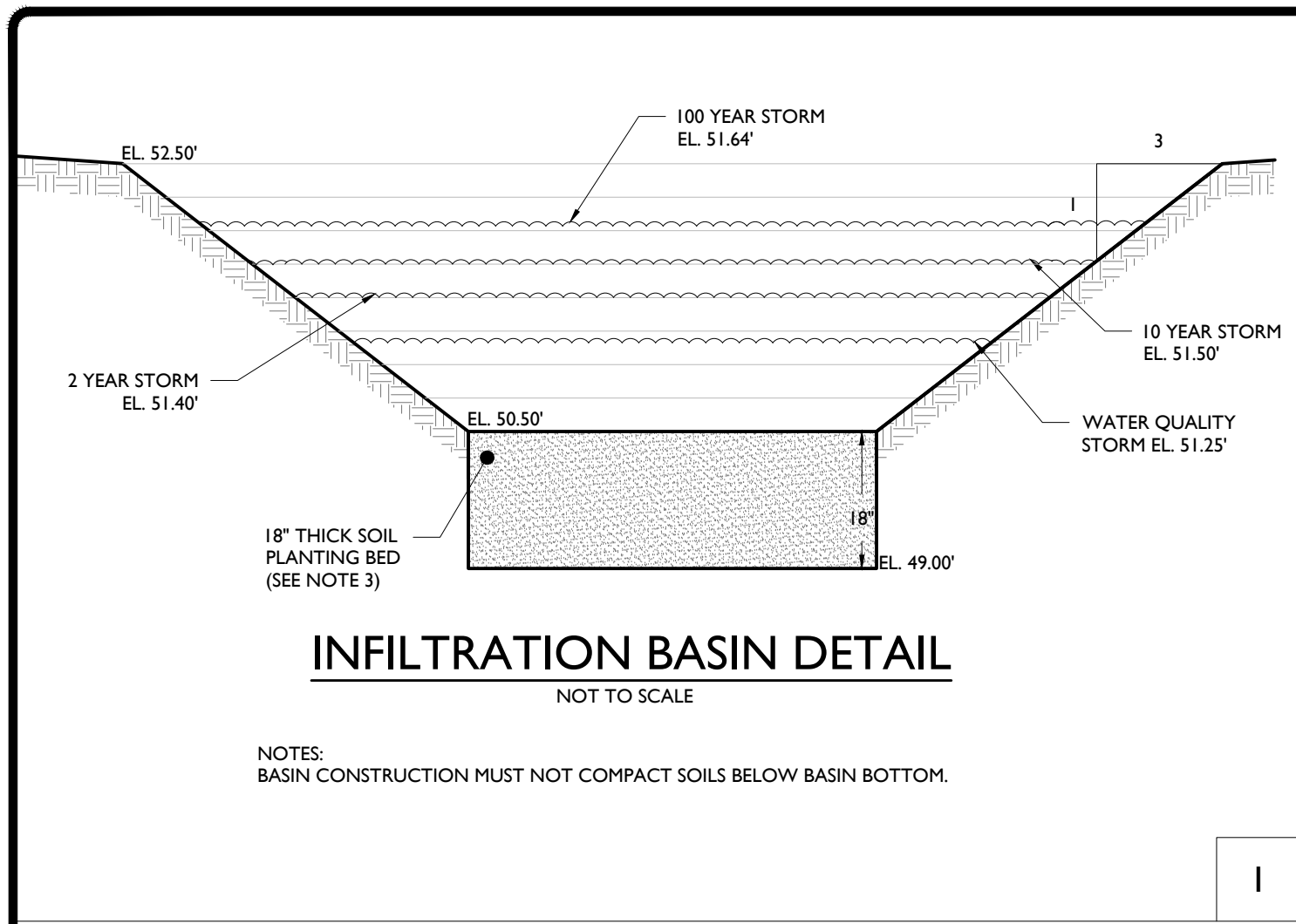
SCALE: AS SHOWN PROJECT ID: Z-19159

TITLE:

**CONSTRUCTION  
DETAILS**

DRAWING:

**C-13**



ISSUE	DATE	BY	DESCRIPTION
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

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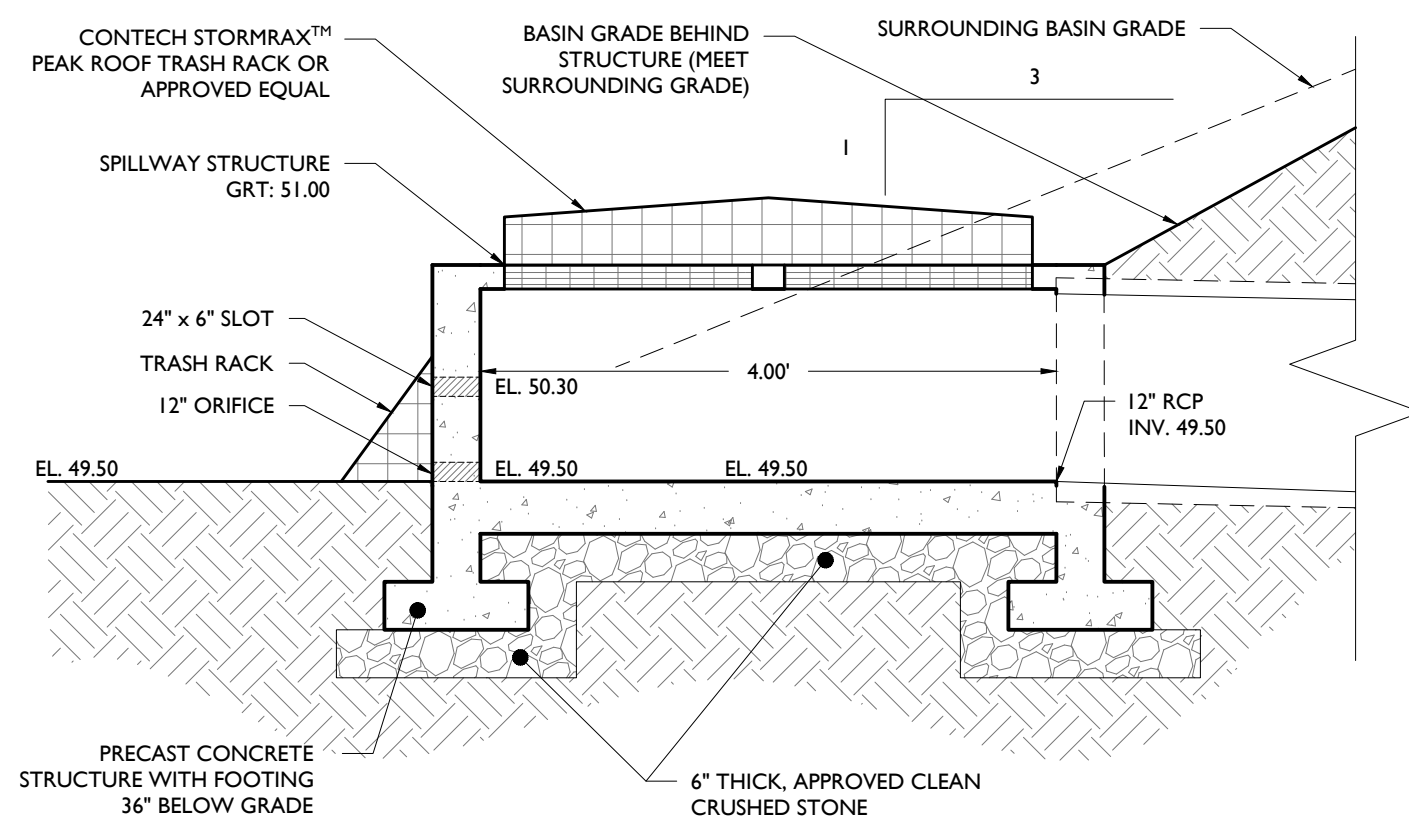
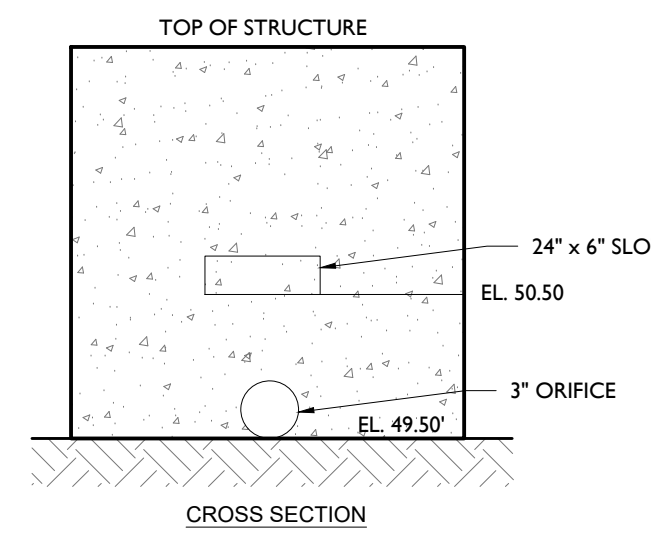
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NEW JERSEY LICENSE No. 55094  
LICENSED PROFESSIONAL ENGINEER

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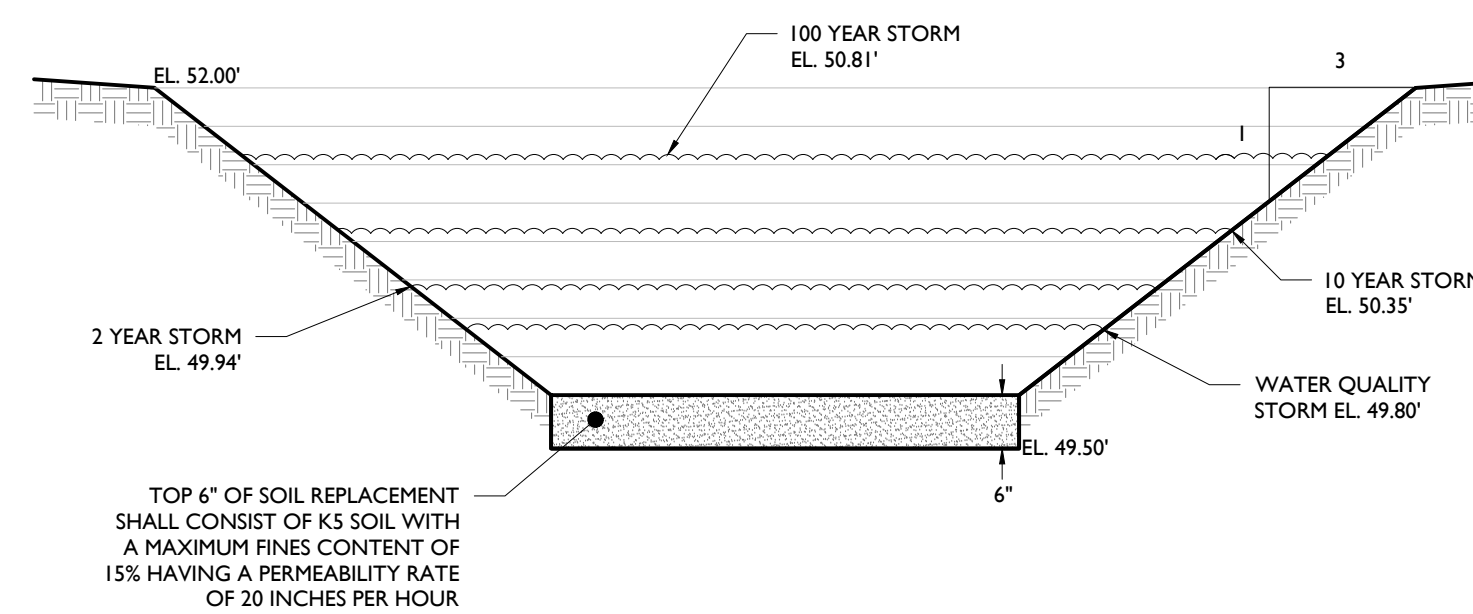
TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-14**



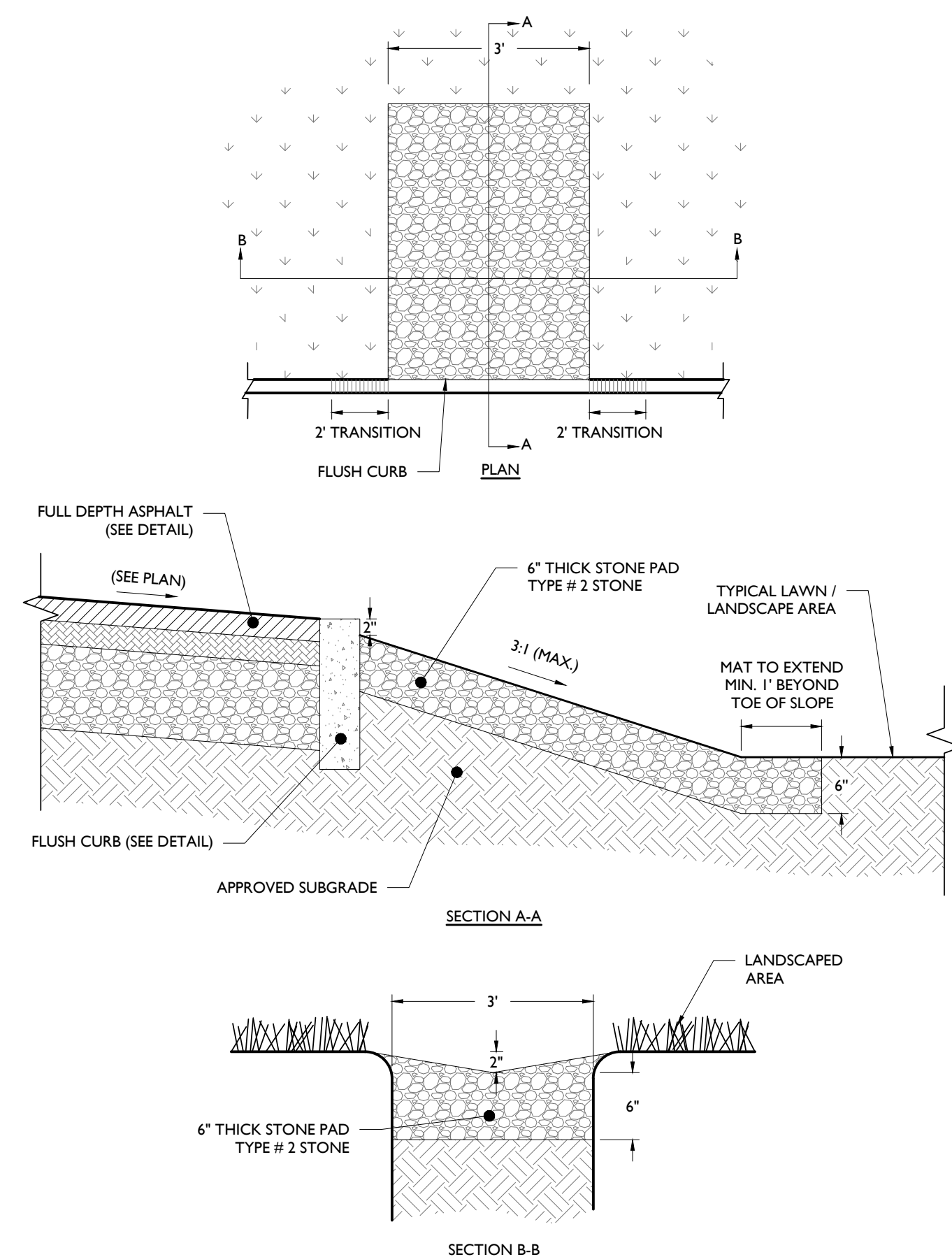
**ABOVE-GROUND OUTLET STRUCTURE (OS-1) DETAIL**  
NOT TO SCALE

- NOTE:  
1. STRUCTURE SHALL SUPPORT H25 LOADING.  
2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.  
3. ALL JOINTS TO BE WATER-TIGHT.  
4. TRASH RACKS CONSTRUCTED OF NON-CORROSIVE MATERIALS TO BE PROVIDED.

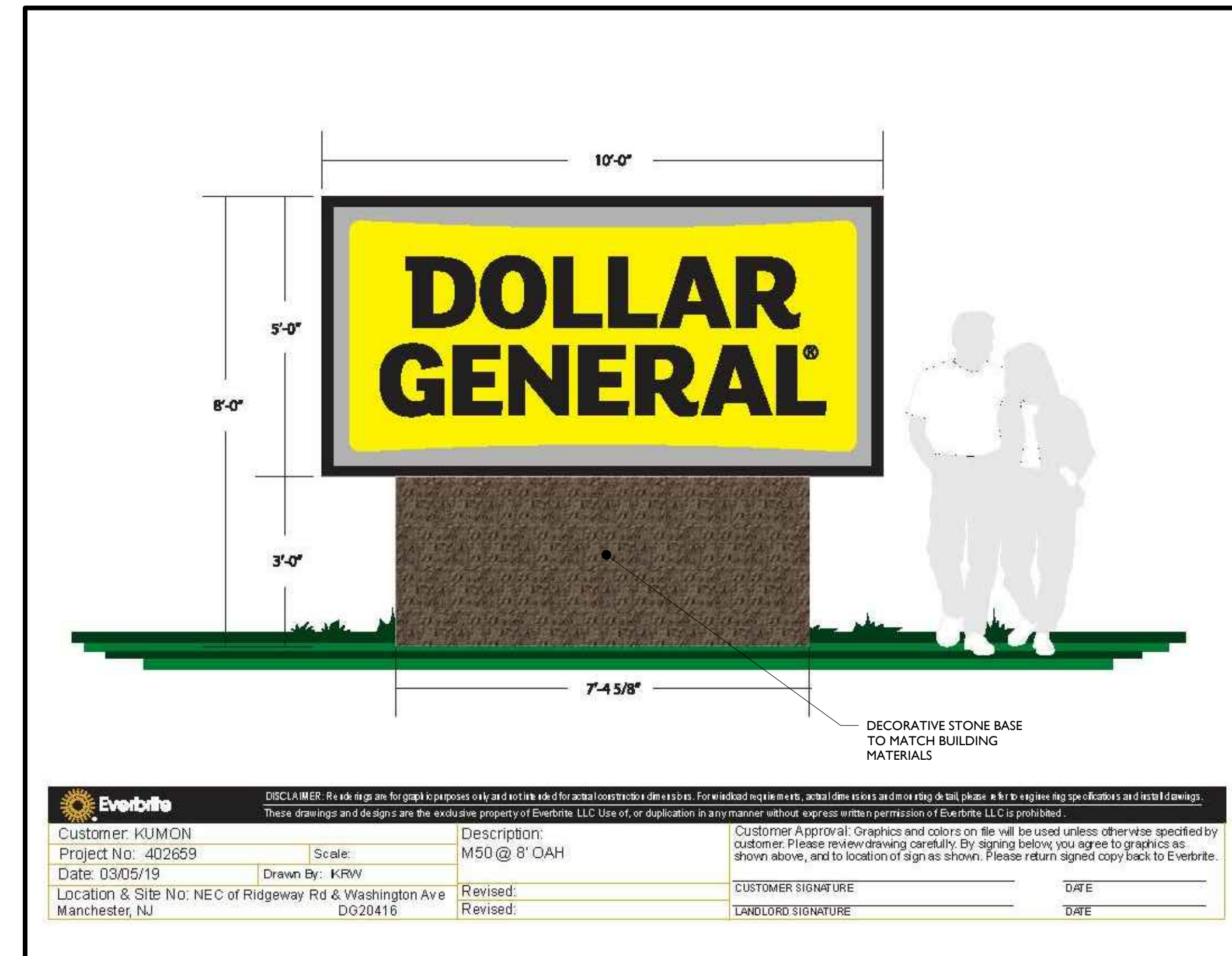


**DETENTION BASIN DETAIL**  
NOT TO SCALE

- NOTES:  
1. BASIN CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM.

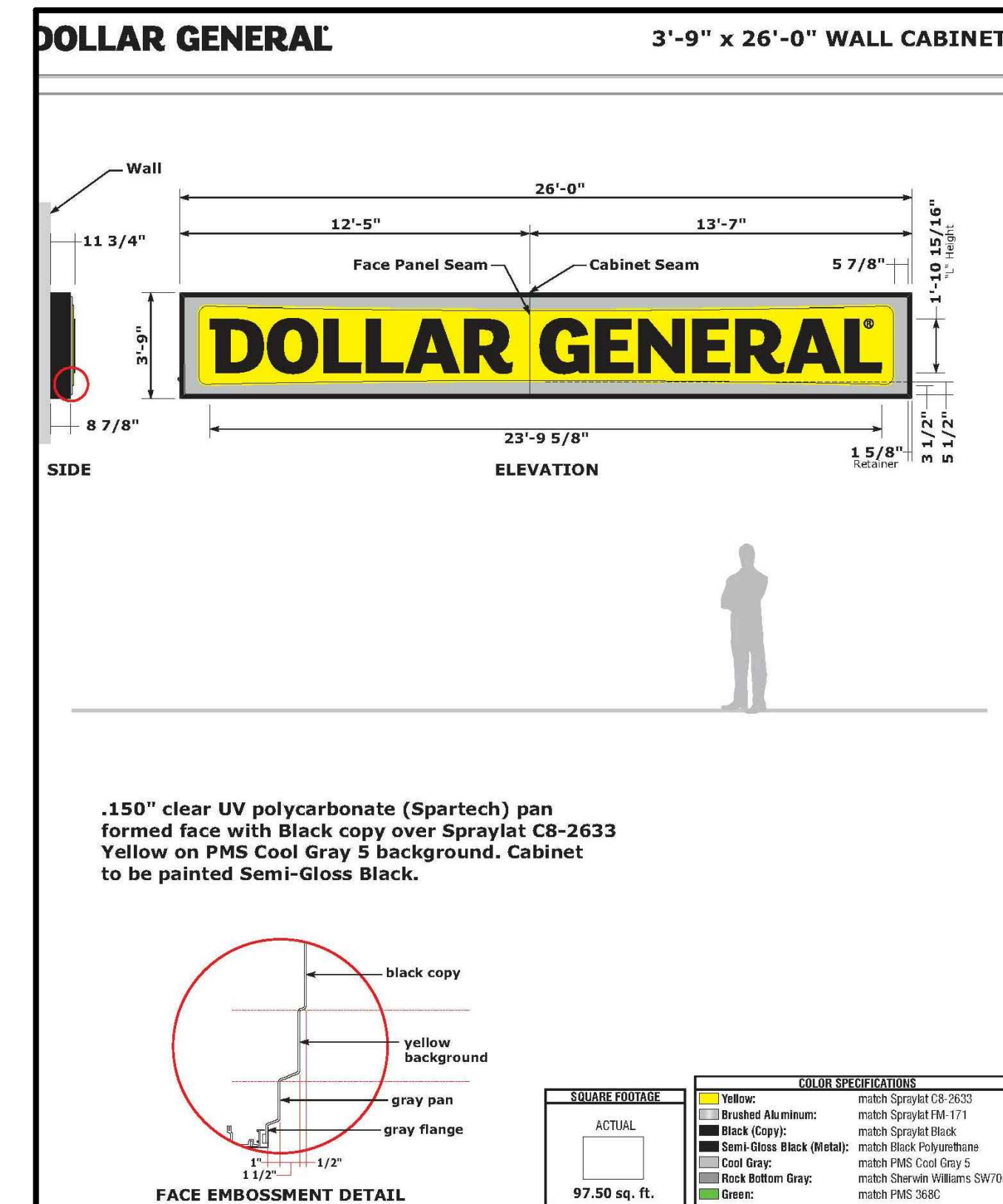


**CRUSHED STONE MAT SWALE DETAIL**  
NOT TO SCALE



**DOLLAR GENERAL MONUMENT SIGN**  
NOT TO SCALE

- NOTES:  
1. SIGN FACE WILL BE INTERNALLY ILLUMINATED.



**DOLLAR GENERAL WALL SIGN**

	FOR MUNICIPAL SUBMISSION	DESCRIPTION
1	08/14/2020 JMK	BY
1	ISSUE	DATE

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**CONSTRUCTION DETAILS**

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**C-15**